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Cardiff
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AGENDA

Committee	PLANNING COMMITTEE
Date and Time of Meeting	THURSDAY, 6 OCTOBER 2022, 1.30 PM
Venue	CR 4, COUNTY HALL - MULTI LOCATION MEETING
Membership	Councillor Stubbs (Chair) Councillors Humphreys, Ahmed, Hunt, Jones, Joyce, Naughton, Reid-Jones, Robson, Sattar and Wong

1 Apologies for Absence

2 Declarations of Interest

To be made at the commencement of the agenda item in question, in accordance with the Members Code of Conduct.

3 Minutes - to follow

To approve as a correct record the minutes of the meeting held on 8 September 2022.

4 Petitions

Petitions have been received in relation to the following applications in accordance with Committee Meeting Procedural Rule 14.2. The petitioners have been advised of their right to speak and the applicants/agents of their right to reply:

Application no: 22/00927/DCH, 97 Romilly Crescent and 106 Llandaff Road, Riverside.

Application no: 22/01411/DCH, 43 Pentwyn, Radyr

5 Development Control Applications

a 22/00927/DCH, 97 ROMILLY CRESCENT AND 106 LLANDAFF ROAD, RIVERSIDE

b 22/01411/DCH, 43 PENTWYN, RADYR

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- 6 **Section 119 Highways Act 1980 Diversion of Whitchurch No.39 Footpath, Wenallt Farm, Rhiwbina**
- 7 **Section 119a Railway Path Diversion of Radyr No.1 Footpath at Gelynis Farm, Morganstown**
- 8 **Section 116 Highways Act 1980 Stopping Up of Highway on Wood Street, City Centre**
- 9 **Applications decided by Delegated Powers**
- 10 **Urgent Items (if any)**
- 11 **Date of next meeting - 3 November 2022**

Davina Fiore

Director Governance & Legal Services

Date: Friday, 30 September 2022

Contact: Kate Rees, 029 20872427, krees@cardiff.gov.uk

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PETITION AND LOCAL MEMBER OBJECTION

COMMITTEE DATE: 06/10/2022

APPLICATION No. **22/00927/DCH** APPLICATION DATE: 29/04/2022

ED: **RIVERSIDE**

APP: TYPE: Full Planning Permission

APPLICANT: Mr Williams

LOCATION: 97 ROMILLY CRESCENT AND 106 LLANDAFF ROAD,
PONTCANNA, CARDIFF, CF11 9NN

PROPOSAL: PROPOSED REFORMATION OF 97 ROMILLY CRESCENT
AND 106 LLANDAFF ROAD TO FORM A SINGLE DWELLING,
SINGLE STOREY SIDE EXTENSION, ALTERATIONS TO
EXTERNAL AMENITY AREAS INCLUDING LANDSCAPE
PLANTING AND ASSOCIATED WORKS

RECOMMENDATION 1: That planning permission be **GRANTED** subject to the following conditions:

1. C01 Statutory Time Limit
2. The development shall be carried out in accordance with the following approved plans and details:
 - L(00) 003 P6 – PROPOSED SITE PLAN
 - L(00) 100 T4 – PROPOSED GROUND FLOOR & CELLAR PLANS
 - L(00) 101 T4 – PROPOSED FIRST & SECOND FLOOR PLANS
 - L(00) 102 T4 – PROPOSED ELEVATIONS – WEST & SOUTH
 - L(00) 103 T4 – PROPOSED ELEVATIONS – NORTH & EAST
 - 02 REV E – TREE RETENTION & REPLACEMENT
 - ARBORICULTURAL REPORT (12TH JULY 2022) - ARBORICULTURAL TECHNICIAN SERVICES LTD
 - SOIL RESOURCES OF LAND AT 106 LLANDAFF ROAD, CARDIFF (20TH JULY 2022) – LAND RESEARCH ASSOCIATES
 - BAT SURVEY (JULY 2022) – ECOLOGICAL SERVICES LTD

Reason: To ensure satisfactory completion of the development and for the avoidance of doubt in line with the aims of Planning Policy Wales to promote an efficient planning system.

3. No development shall take place until full details of the soil amelioration proposed within the Root Protection Area of lime T709 have been

submitted and approved by the LPA.

Reason – to ensure the ongoing good health of lime T709 in accordance with Policy EN8 of the Cardiff Local Development Plan (2006 – 2026).

4. All planting and seeding shown on the approved plans shall be carried out in the first planting and seeding season following the occupation of the building or the completion of the development, whichever is sooner.
Reason: To maintain and improve the amenity and environmental value of the area in accordance with Policy EN8 of the Cardiff Local Development Plan (2006 – 2026).
5. Any newly planted trees, plants or hedgerows, which within a period of 5 years from the completion of the development die, are removed, become seriously damaged or diseased, or in the opinion of the Local Planning Authority (LPA) otherwise defective, shall be replaced. Replacement planting shall take place during the first available planting season, to the same specification shown on the approved plans, unless the Local Planning Authority gives written consent to any variation.
Reason: To maintain and improve the amenity and environmental value of the area in accordance with Policy EN8 of the Cardiff Local Development Plan (2006 – 2026).
6. The development shall be undertaken in full accordance with the Arboricultural Method Statement (AMS). Tree Protection Plan, Tree Retention & Replacement Plan and Soil Resources Report.
Reason: To ensure satisfactory completion of the development and for the avoidance of doubt in line with the aims of Planning Policy Wales to promote an efficient planning system.
7. Details of the proposed cycle parking facilities shall be submitted to and approved in writing by the Local Planning Authority prior to any development works being undertaken.
Reason: To ensure that adequate and accessible covered and secure cycle parking is provided in accordance with Policy T1 of the Cardiff Local Development Plan (2006 – 2026).
8. Details of the proposed windows (including dormer windows and proposed paint finish colour) to a minimum scale of 1:10 including elevations, vertical and horizontal sections with larger scale details sufficient to fully describe the proposed shall be submitted to and approved in writing by the Local Planning Authority prior to their installation.
Reason: To safeguard the character and appearance of the building and the conservation area in accordance with Policy EN9 of the Cardiff Local Development Plan (2006 – 2026).
9. Details of the proposed ground floor extension of a scale sufficient to describe the proposed (including joinery details, elevations, vertical and horizontal sections) shall be submitted to and approved in writing by the Local Planning Authority prior to commencement of work to the

extension.

Reason: To safeguard the character and appearance of the building and the conservation area in accordance with Policy EN9 of the Cardiff Local Development Plan (2006 – 2026).

10. The roof light shall, when fitted, match the existing in terms of opening size. It shall be flush to the roof pitch, with no greater upstand than 25mm above the roof covering. It shall have a surround of a dark matt finish.

Reason: To safeguard the character and appearance of the building and the conservation area in accordance with Policy EN9 of the Cardiff Local Development Plan (2006 – 2026).

11. Details of the proposed stonework, gate piers, gates, and railings to a minimum scale of 1:10 including elevations, vertical and horizontal sections with larger scale details to sufficiently describe the proposed (including a full method statement and specification of work) shall be submitted to and approved in writing by the Local Planning Authority prior to commencement of works to the boundary wall.

Reason: To safeguard the character and appearance of the building and the conservation area in accordance with Policy EN9 of the Cardiff Local Development Plan (2006 – 2026).

12. Details for the proposed restoration of the existing chimney stacks of a scale sufficient to fully describe the proposed work shall be submitted to and approved in writing by the Local Planning Authority prior to commencement of work to the chimney stacks.

Reason: To safeguard the character and appearance of the building and the conservation area in accordance with Policy EN9 of the Cardiff Local Development Plan (2006 – 2026).

13. The development shall be undertaken in full accordance with the mitigation measures identified in the submitted Bat Survey report prepared by Ecological Services Ltd, dated July 2022. in accordance with Policy EN7 of the adopted Cardiff Local Development Plan (2006 - 2026).

Reason: To ensure protected species are not affected by this development in accordance with conservation of Habitats and Species Regulations 2010 (as amended).

14. No site clearance/demolition of (relevant features) to take place between 1st March and 15th August unless otherwise approved in writing by the Local Planning Authority. This approval will be granted if a consultant ecologist can evidence that there are no birds nesting in this these features immediately (48 hrs) before their removal.

Reason: To avoid disturbance to nesting birds which are protected under the Wildlife and Countryside Act 1981: Part 1, 1(1)(b), in accordance with Policy EN7 of the Cardiff Local Development Plan (2006 – 2026).

RECOMMENDATION 2: That the applicant be advised that no work should take place on or over the neighbour's land without the neighbour's express consent and this planning approval gives no such rights to undertake works on land outside the applicant's ownership.

RECOMMENDATION 3: The planning application proposes highly vulnerable development, proposed conversion of two separate dwellings to form a single dwelling. NRW Flood Risk Map confirms the site to be within Zone C1 of the Development Advice Map (DAM) contained in TAN15 and the FMfP identifies the application site to be at risk of flooding and falls into the TAN15 Defended Zone.

Recognising the particular nature of this application this application presents an opportunity to raise awareness of the flood risk and incorporate flood resistance/resilience measures and make provisions for flood warning and emergency access/egress. To aid this, the Applicant may decide to undertake an FCA for their own benefit.

The criteria for the FCA, which should normally be undertaken by a suitably qualified person carrying an appropriate professional indemnity, are given in Section 7 and Appendix 1 of TAN15. The FCA should be appropriate to the scale and nature of the development being proposed.

NRW may hold relevant flood risk data that can be used to assist with this assessment. Any requests for this data should be sent to our datadistribution@cyfoethnaturiolcymru.gov.uk email account.

If the building and/or access/egress routes are shown to flood during events up to and including a predicted 0.1% (plus an allowance for climate change) flood event, the FCA should propose suitable and appropriate mitigation measures to reduce the effects and consequences of flooding.

Flood resistance/resilience measures that could be incorporated into the development include flood barriers on ground floor doors, windows and access points, implementation of suitable flood proofing measures to the internal fabric of the ground floor and locating electrical sockets/components at a higher level above possible flood levels. Appropriate measures and advice is set out in the ODPM publication 'Preparing for Floods: Interim Guidance for Improving the Flood Resistance of Domestic and Small Business Properties', which is available at <https://www.gov.uk/government/publications/improving-the-flood-resistance-of-domestic-and-small-business-properties-interim-guidance> and information from CIRIA (www.ciria.org/flooding). Additional guidance can be found <https://www.gov.uk/prepare-for-flooding/future-flooding>

Please be aware that "Flood Resistance" measures i.e., prevention of floodwaters entering a building, are only recommended in situations where the flood depths do not exceed 600mm.

For further advice, please refer to the NRW website.

1. DESCRIPTION OF PROPOSED DEVELOPMENT

- 1.1 Planning permission is sought for the redevelopment of the property located on the corner of Romilly Crescent and Llandaff Road. The existing building which has been divided into flats, would be returned to a single dwelling house with a single-storey side extension.
- 1.2 The existing boundary wall would be reinstated, and a new driveway/parking area created at the front of the property.
- 1.3 The proposal includes the removal of 10 Sycamore trees and one Holly Elm group with replacement planting proposed in compensation.
- 1.4 Following the receipt of representations on the proposal and recommendations of Council Officers, the side extension has been amended to move it away from the common boundary with the adjoining residential property.

2. DESCRIPTION OF SITE

- 2.1 The application site is located on the corner of Romilly Crescent and Llandaff Road in Canton.
- 2.2 The site contains a dilapidated and vacant two-storey building set within extensive grounds. The building has formally been divided into flats. Vehicle access to the property is obtained from Llandaff Road. There is a yard area located to the north of the property with pedestrian access from Romilly Crescent. A public lane is located to the southern boundary of the property. A small outbuilding adjoining the lane is to be demolished as part of this proposal.
- 2.3 The property contains a number of mature trees located along the highway boundaries of the site.
- 2.4 The application site is located in the Conway Road Conservation Area.
- 2.5 The site falls inside the C1 flood zone.
- 2.6 Immediately to the west of the site is located an end of terrace dwelling which fronts Romilly Crescent. It has a south facing garden area which adjoins the rear access lane.
- 2.7 The Canton Gospel Hall is located to the west of the site on the corner of Romilly Road and Llandaff Road. This building is locally listed.
- 2.8 Diagonally opposite the site to the north-west of the road junction is Suffolk House. This is locally listed due to its group values with other buildings of merit situated in the area. Suffolk House is currently undergoing

redevelopment and conversion into 10 flats.

2.9 To the north of the site on Romilly Crescent is St Winefrides Nursing Home.

3. SITE HISTORY

3.1 No planning history found for this site.

4. POLICY FRAMEWORK

4.1 The site lies within a residential area as defined by the proposals map of the Cardiff Local Development Plan 2016.

4.2 Relevant National Planning Guidance:

- Future Wales: The National Plan 2040 (2021)
- Planning Policy Wales (Edition 11, 2021)
- Planning Policy Wales TAN 12: Design

4.3 Relevant Cardiff Local Development Plan Policies:

- Policy KP5: Good Quality and Sustainable Design
- Policy KP17: Built Heritage
- Policy EN8: Trees, Woodlands and Hedgerows
- Policy T1: Walking and Cycling
- Policy T5: Managing Transport Impacts
- Policy EN9: Conservation of the Historic Environment

4.4 Relevant Supplementary Planning Guidance:

- Residential Extensions & Alterations (June 2017)
- Green Infrastructure (2017)
- Managing Transportation Impacts (Incorporating Parking Standards (2018))

4.5 Listed Building and Conservation Policies:

- The Planning (Listed Building and Conservation Areas) Act 1990
- Technical Advice Note 24: Historic Environment
- Conservation Area Appraisal (Conway Road Conservation Area)

5. INTERNAL CONSULTEE RESPONSES

5.1 Council's Tree Officer has viewed the application and considered the supporting documents including the Arboricultural Impact Assessment and replacement planting plan. He comments:

'This is a well-considered development in general terms that features new tree planting that is diverse and well-adapted to the predicted impacts of climate change. This new planting, complementing the retained 'B' category lime (the

most important tree on site currently) should enhance the character of the Conservation Area, though it must be accepted that the loss of the existing sycamores represents a loss of local canopy cover and amenity until the new planting is established.'

- 5.2 The Council's Transport Project Officer reviewed the proposal and noted that the vehicle access from Llandaff Road would be retained. He has questioned the number of car parking spaces provided at the front of the property and queried the provision of cycle parking at the side of the property.
- 5.3 The Council Heritage Officer has viewed the application and following some suggested changes to the scheme, welcomes the proposal to bring this prominent unlisted historic asset back into viable use as a single dwelling. It is noted:

Dormer Windows

The proposed replacement dormer windows are well located and designed, matching those existing to the front elevation. They will be in-keeping with the property. Replacement of the rather incongruous verge dormers to the north and south elevations will further unify, rebalance and enhance the prominent elevations of this fine building (pending submission of details conditioned below).

Rooflights

The proposed rooflight to the prominent front (west) elevation of the building retains the size of the existing aperture, thus preserving the conservation area. That previously proposed to the rear was considered to be in a prominent location and was not supported. The dormer now proposed is considered acceptable for the reasons cited above.

Chimney stack

Where previously proposed for partial demolition, the prominent existing chimney stacks are now retained and restored, thus ensuring a well-balanced and enhanced principal elevation (pending details to be secured by condition).

Windows

The proposed tripartite timber sash windows to the first floor front elevation are a great enhancement on the existing arrangement.

The replacement of painted timber sashes with slimline double-glazed timber sashes elsewhere is also supported, provided their appearance remains fundamentally unaltered. To this end, joinery dimensions (including reveal dimensions of sash box outer linings) should match those existing. Perimeter seals to the double-glazed units should match the finished paint colour proposed for the associated joinery. Segmental-headed sashes/boxes to match the cambered intrados of the existing brick voussoirs would also be considered an enhancement on the existing. Details are conditioned below.

Fire escape

Removal of the prominent and unsightly fire escape stairs to the south elevation

is welcomed. This may be balanced positively against the dropped window sill at ground floor level which enables patio access via French doors, particularly considering the latter will be much less prominent from the public realm.

Side Extension

There is historical precedent for a structure in this location. The proposed single-storey extension is well designed and positioned; to minimally impact upon both the conservation area and the setting of this prominent building within its spacious curtilage. Further detailed design is conditioned below.

Boundary Wall

Though dilapidated, the existing railings and stone boundary wall contribute positively to the area. However, the railings are shown to be in poor condition due to being partially bedded in later concrete. We welcome their reinstatement. Details of the proposed wall should retain and reuse as much material as possible (and be bedded in an appropriate lime-based) mortar. Details for this work and the proposed railings are conditioned below.'

- 5.4 A number of conservation conditions of approval have been suggested by the Heritage Officer, and where appropriate these have been included in Recommendation 1 above.

6. EXTERNAL CONSULTEE RESPONSES

- 6.1 Natural Resources Wales were consulted over the proposal and its location in the C1 flood zone. NRW advised that they had no objection to the proposed development as submitted and provided advice on flood risk. They noted the Bat Scoping Survey submitted and recommended that any further bat surveys be undertaken as recommended in the survey and in accordance with 'Bat Surveys; Good Practice Guidelines 3rd Edition published by the Bat Conservation Trust 2016.' They recommended that the results of the surveys be submitted to the LPA prior to determination.

- 6.2 The applicant has subsequently submitted a Bat Survey, providing confirmation that no bats were observed returning or emerging from the building on 05/05/2022, 10/06/2022 or 03/07/2022.

7. REPRESENTATIONS

- 7.1 The application was advertised by way of site and press notices and via neighbour notification.

- 7.2 A total of 20 objections have been received in opposition to the application proposal. This included representations from local Councillors Leonora Thomson and Caro Wild and Mark Drakeford MS and Kevin Brennan MP. A number of objectors indicated general support for the repair and enhancement works to the property, however, have opposed the proposed removal of trees. The objections received raised the following concerns:

- The loss of a significant number of established trees
- Loss of biodiversity
- The impact of the loss of trees during a climate and ecological emergency
- Trees considered vital for carbon storage
- Questions who will monitor the condition of replacement trees
- Impacts on wildlife
- Loss of tree cover in the area following the felling of trees on the Suffolk House site
- The retention of trees would offset and mitigate car pollution
- Detrimental impact on the Conway Road Conservation Area
- Contrary to the Cardiff Council's campaign to increase tree cover in the City
- Contravenes Cardiff Council's policies on protecting climate and improving air quality
- Contrary to the Wellbeing of Future Generations Act 2016 in terms of sustainability
- Trees provide shade and improve mental and physical health
- Tree Protection Orders sought
- Impact of extension on daylight admission to habitable rooms in the adjoining dwelling at 95 Romilly Crescent
- Height of the proposed dwelling extension

7.3 A petition from the Cardiff Civic Society containing 205 signatures objects to the felling of 10 mature trees on the application site.

8. **ANALYSIS**

8.1 The key issues for consideration with this application are:

- I. The impact of the proposal on the character and appearance of the conservation area, particularly through the loss of trees
- II. The design and layout of the proposal
- III. Impacts on the neighbouring property
- IV. Transport effects including access and parking

I. **IMPACT ON THE CONSERVATION AREA**

8.2 S.72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 places a legal duty on the LPA to pay special attention to the desirability of preserving or enhancing the character and appearance of conservation areas. This duty is imposed through Policies KP17 and EN9 of the Local Development Plan.

8.3 This proposal sees the major redevelopment of a vacant and dilapidated building and its return to residential use. Significant improvements are proposed to the property including the retention and repair of the attractive boundary wall.

8.4 The single storey extension proposed to the side of the building is considered

to be of an appropriate scale, form and finish relative to the property. The Heritage Officer notes that the proposal is *'well designed and positioned; to minimally impact upon both the conservation area and the setting of this prominent building within its spacious curtilage.'*

- 8.5 The proposed development would bring the property, located in a prominent location within the Conway Road Conservation Area back into beneficial residential use. The extension is considered to be of an appropriate scale and form and would remain subservient to the unlisted historic asset, in a sympathetic manner.
- 8.6 The removal of the existing fire escape and making good of the building would represent welcome enhancements to the property. The repair of the existing boundary wall would also result in a significant improvement to the property and an enhancement of the Conway Road Conservation Area.

The loss of trees

- 8.7 A number of trees would be removed from the site as part of the proposed development. These include the following:
- 10 x category C trees (Sycamores)
 - 1 category C tree group (Holly Elm)
- 8.8 The category B Common Lime would be retained as part of the proposal and would be supplemented by the following trees which are to be planted as Extra Heavy Standard or Semi Mature:
- 2 x Field Maple 'Red Shine
 - 1 x Norway Maple Deborah
 - 14 x Hornbeam pleached
 - 2 x Sweet Gum 'Slender Silhouette'
 - 2 x Fountainbleau Whitebeam
 - 1 x Silver Lime
- 8.9 The trees located within the application site are not subject of individual or a group Tree Preservation Order. However, as the site is located within the Conway Road Conservation Area, notices must be served on the LPA before any works can be undertaken on them. The submission of this planning application represents this formal notice.
- 8.10 The Arboricultural Report submitted notes that 10 trees and one small tree group are identified to be removed to facilitate the construction of the proposed development and enable the planting of landscape mitigation. All trees identified for removal are low quality trees (C category). It notes that long term, many of the sycamore trees are close to the boundary wall and that conflict between the wall and trees will occur. Furthermore, the removal of trees would enable the planting of a coherent and well-designed scheme for

landscape mitigation which will benefit the tree amenity of the area long term.

- 8.11 While the loss of trees from the site would be regrettable, the replacement planting provision proposed has been considered by the Council's Tree Officer who has commented:

This development removes a monoculture of self-seeded, uniform age-class, low quality, and value ('C' category) sycamores growing close to a boundary wall to be replaced by a highly diverse and well-considered planting scheme. The new planting includes trees capable of large size and long life and that are well adapted to the predicted impacts of climate change. There will be diversity not only of species, but of form and ornamental attributes, giving a 'layered' style of planting from broadly spreading trees, fastigiated trees and understorey trees, to hedging and understorey shrubs and herbaceous elements. This maximises visual amenity and biodiversity benefits whilst improving on the functional benefits vegetation provides by intercepting and storing water and pollutants at different levels.

A sycamore monoculture is problematic because it means less diversity and thereby increased visual monotony combined with increased vulnerability in the event of pest and disease outbreaks. Sycamores form a closed canopy that admits little light and therefore limited understorey vegetation development – i.e. a less 'layered' vegetation distribution. Sycamores have some biodiversity benefits – in an urban context this is largely due to the large biomass of aphids feeding on the tree in the growing season, though the flowers can also attract pollinators. However, in turn, they are a species commonly linked with nuisance problems due to the dense shade they cast, their large seedling production and the huge volume of honeydew that rains down from them during the growing season. Growing as a continuous group rather than as isolated specimens, nuisance problems are exacerbated, particularly in a residential context. This can impact on the quality of life of residents and may result in a need for regular pruning. Sycamores commonly seed in niches adjacent boundary walls, as has happened here. Unfortunately, this means that over time, roots and trunks exert pressure on walls, in some cases sufficient to make them unstable.

*If this development was simply seeking to remove trees to make way for development, without mitigating this loss, I would see it as a significant problem. However, in this case the development places landscaping upfront as an important component of design and achieves a well-considered design that should enhance the Conservation Area. As you know, there are some outstanding issues with the access and retained 'B' category lime and I have previously stated that the loss of the sycamores will impact on canopy cover locally. If the acceptability of development is to be based purely on **existing** canopy cover, then clearly the development is problematic. However, my view is that development should be preserving and enhancing a sustainable tree population that is fit for purpose in the context of climate change. In this case, the development has the potential to achieve incremental benefits in this regard, whereas retention of existing canopy cover is likely to result in a decline in the sustainable tree population, just when it is needed most (over the next 20-50 years). This is because the nuisance problems associated with trees (real*

and perceived) are likely to increase whilst the capacity to secure appropriate replacements as part of a coherent landscape design reduces. The end result is likely to be a monoculture of cyclically pruned sycamores with gaps where trees have to be removed due to conflict with walls, but insufficient light and space to bring on new planting. In other words, sometimes it is necessary to remove trees to allow for a more sustainable tree population to develop. Mother nature operates on this basis – large-scale loss of/decline of particular species has occurred throughout time, allowing niches to develop for other species that in turn decline and make way for others, possibly including the species that was originally lost/declined.

- 8.12 A suggestion has been made by objectors that the sycamore trees should be removed in a phased or staged manner, so as to reduce the visual impact on the conservation area and maintain biodiversity and birdlife. The Tree Officer has considered this and comments:

'In an ideal world a more phased approach to tree removal and replacement would be sought, but this presents some problems at this site as follows: -

- Removing trees may increase wind loading on those that remain, increasing the risks of failures.*
- Planting new trees close to retained trees present a significant risk of root damage to the retained trees, since the excavation to accommodate the root-ball is significant.*
- New trees planted close to existing established trees are likely to suffer suppression and may grow in a more distorted and ultimately structurally vulnerable fashion as a consequence.*
- Establishing new shrubs and herbaceous planting with the sycamores in place is likely to be problematic.*
- The proposed landscaping scheme presents a carefully considered selection of trees appropriate to the context, to the predicted impacts of climate change and to each other. It is a 'composition' that only works if it is implemented as a whole rather than piecemeal.*
- I am unclear on the mechanism to be used to secure new planting as and when sycamores are removed? This could become a very convoluted process without the consistency and 'quality control' that can be imposed on the implementation of a landscape scheme under the supervision of the designing landscape architect.*
- I accept and acknowledge that the development will result in a loss of canopy cover and habitat, in terms of the species the sycamores support. This is a relevant issue for debate and consideration. If it was the case that this loss was not to be mitigated, or mitigation was inadequate, then I would most certainly be opposing development. However, development that actively seeks to create a sustainable tree population and presents a carefully considered planting scheme in such a high profile urban location, is rare indeed. My view is that the long-term benefits the scheme should bring override the temporary loss in canopy cover. If the new planting is implemented in accordance with a fully approved plan and specification, there is no reason why within 5 years, we should not be seeing significant*

growth from the new trees and hedging, thereby creating new habitats and visual amenities in this important location.'

- 8.13 While the trees proposed for removal as part of this application are mature specimens, aid in reducing air pollution and add to the character of the area, their proposed removal, through being considered as part of this planning application, provides the LPA the opportunity to seek appropriate replacement planting. This would not be the case had notice been served on the LPA outside the application process. Given the nature and habit of the trees and their possible future impact on the boundary wall, I understand that it is unlikely that the LPA would have sought to have protected the trees, had this approach been taken.
- 8.14 Taking the above into consideration and when considering that the proposal seeks to bring a vacant building, which is in a poor state of repair, back into beneficial use, the removal of the trees, is on balance, considered acceptable, subject to the replacement landscaping scheme proposed.

II. THE DESIGN AND LAYOUT OF THE DEVELOPMENT

- 8.15 Planning Policy Wales (PPW) and Policy KP5 of the Cardiff Local Development Plan (2006 – 2026) require that good design and Placemaking be at the heart of any development. Further detailed guidance is set out in the Council's Residential Extensions and Alterations SPG.
- 8.16 The SPG states that extensions should be appropriate to the existing house in terms of their scale, form and finish and should fit easily within the street scene. Materials and window detailing should match or complement the existing house.
- 8.17 The proposed single-storey extension would adjoin the side return courtyard at the rear of the neighbouring terrace property at No. 95 Romilly Crescent. The extension would have a monopitch roof slope and blank side facing wall. It would marginally set back from the common boundary with the neighbouring property, in part, and would project no further than the rear elevation of the annex at the rear of No. 95.
- 8.18 The proposed extension is considered to be well designed, utilising suitable materials and fenestration which would minimally impact upon both the conservation area and setting of the property. It is single storey, of a modest size and scale and considered acceptable within the context of the surrounding built form.

III. IMPACT ON THE NEIGHBOURING PROPERTY

- 8.19 The SPG advises that side extensions have the potential to impact on the daylight and outlook of neighbours. At paragraph 7.2 of the SPG, it notes that such extensions should be subordinate to the original dwelling and new developments should consider impact on trees on or adjacent to the application site.

- 8.20 The adjoining property located to the east of the application site at No. 95 Romilly Crescent contains two principal windows at ground floor level. One facing directly south, the other facing west across the side return courtyard.
- 8.21 The proposed single storey extension has been moved back approximately 2m from the common boundary to reduce the impact of the development on the outlook of adjoining occupiers and to ensure good access to daylight to habitable rooms. The existing low stone wall on the boundary would be retained and the flank wall of the extension finished in suitable brickwork to match the existing.
- 8.22 Accordingly, the proposal development is considered to have an acceptable visual impact and should not appear un-neighbourly or overbearing to occupants of the adjoining property. Furthermore, the form and scale of the proposed extension should ensure that the adjoining property maintains an acceptable level of daylight admission to both south and west facing windows.

IV. TRANSPORT EFFECTS INCLUDING ACCESS AND PARKING

- 8.23 The site enjoys a sustainable location being within a short walking distance of bus stops, within 600m of the Cowbridge Road East District Centre and close to the city centre employment and leisure uses.
- 8.24 The proposed development would utilise the existing vehicle access from Llandaff Road. This would be widened, and new inward opening gates constructed. This would provide access to a parking forecourt capable of accommodating two vehicles. A manoeuvring area would ensure that vehicles can turn on the site, safely leaving the property in a forward direction.
- 8.25 Council's Transport Projects Officer has raised a concern with the provision of on-site car parking for more than one vehicle. He cites the SPG maximum parking requirement of one car space per residential dwelling in the Central Area as grounds for his concern.
- 8.26 While it is acknowledged that the proposal would exceed the Managing Transportation Impacts guidance on parking by one vehicle, in this case, the provision of parking for two vehicles is considered reasonable given the particular context of this site.
- 8.27 Paragraph 6.11 of the SPG notes that there may be scope for applying the parking standards flexibly in exceptional circumstances, where the specific nature of the development warrants this. In this instance, the subject property is of a considerable size and could be expected to accommodate a number of residential occupants. The applicant has made generous provision for accessible and secure cycle parking, and this will assist in encouraging residents to cycle in order that the LDP target of a 50:50 modal split is met. Furthermore, it should be noted that the property is located in an area subject to significant on-street parking demand and constraints, as both highway frontages on Romilly Crescent and Llandaff Road have double yellow lines.

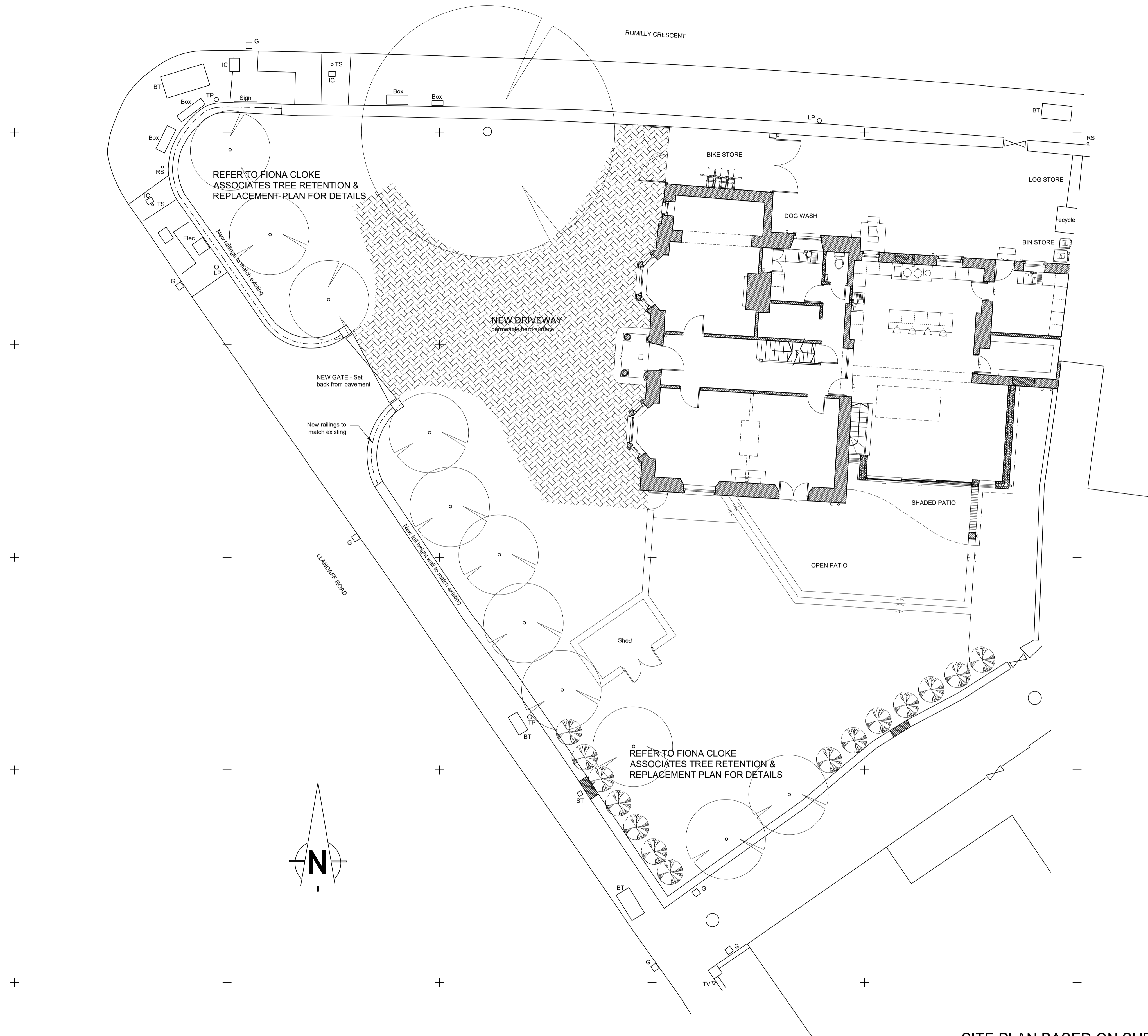
- 8.28 The proposed development indicates cycle parking for 5 cycles with a wall mounted vertical cycle rack. These should be covered and secure. A condition of consent is recommended requiring the provision of further details and approval of acceptable cycle storage facilities for the proposed use.

9. **OTHER CONSIDERATIONS**

- 9.1 **Crime and Disorder Act 1998** – Section 17(1) of the Crime and Disorder Act 1998 imposes duty on the Local Authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.
- 9.2 **Equality Act 2010** – The Equality Act 2010 identifies a number of ‘protected characteristics’, namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council’s duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic.
- 9.3 **Well-Being of Future Generations Act 2015** – Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the recommended decision.

10. **CONCLUSION**

- 10.1 In conclusion, it is considered that the development would provide a high-quality scheme returning a building in a poor state of repair back to beneficial residential use. The proposed use, location, design, access and parking provision are all considered acceptable, along with amenity considerations for neighbouring residents. Overall, the scheme would form a significant enhancement to the area and the wider Conway Road Conservation Area. Whilst mature trees would be lost as a result of the proposed development, taking the above into consideration along with the replacement planting proposed, it is considered that, on balance, the overall development would be acceptable.
- 10.2 It is recommended that planning permission be granted, subject to the imposition of the recommended conditions.



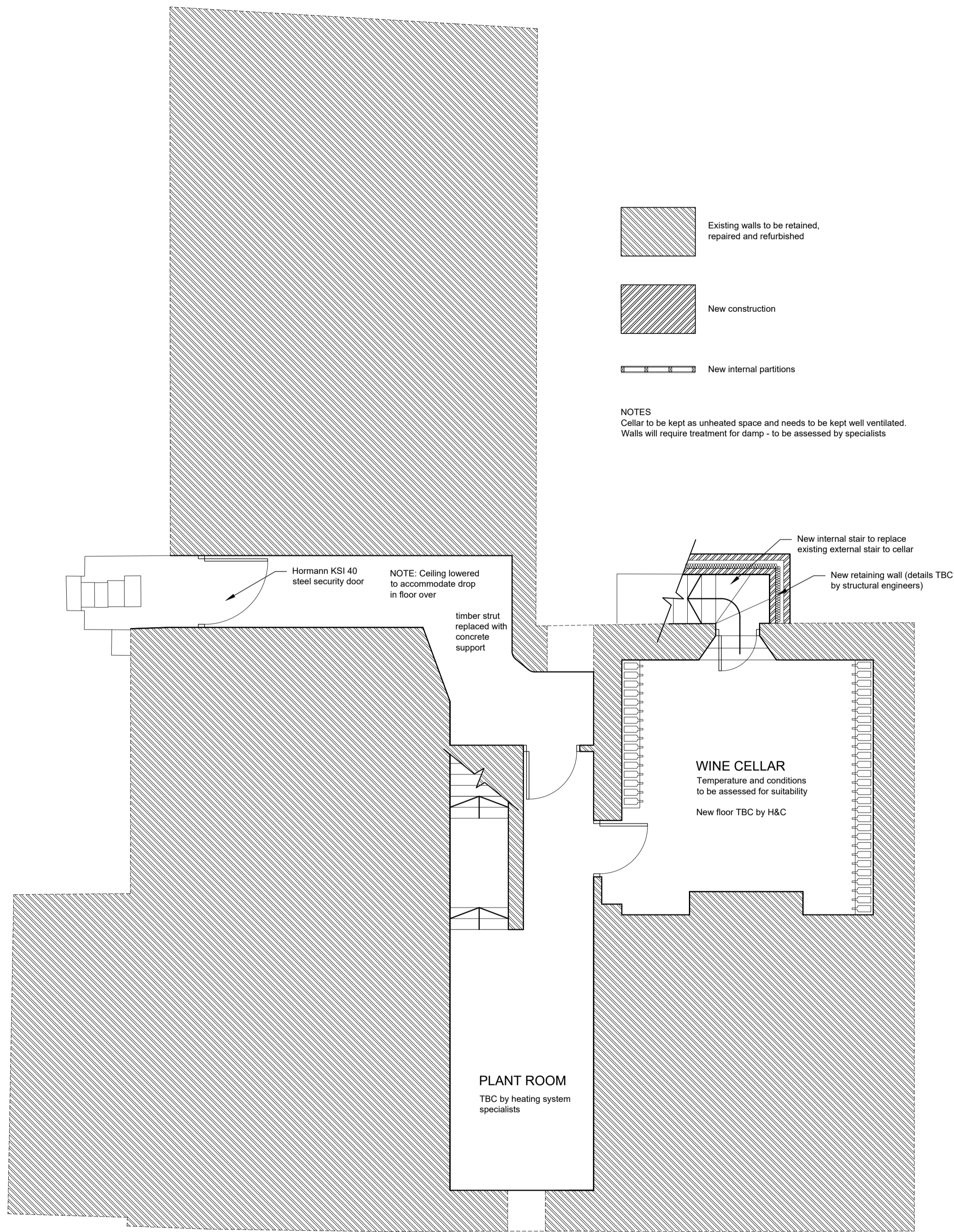
SITE PLAN BASED ON SURVEY BY JOHN VINCENT SURVEYS LTD
DESIGN SUBJECT TO PLANNING & BUILDING REGULATION APPROVAL - NOT FOR CONSTRUCTION

kotzmuth williams
architects *planners*
 T 02921 780001
 office@kwarchitects.com
 www.kwarchitects.com

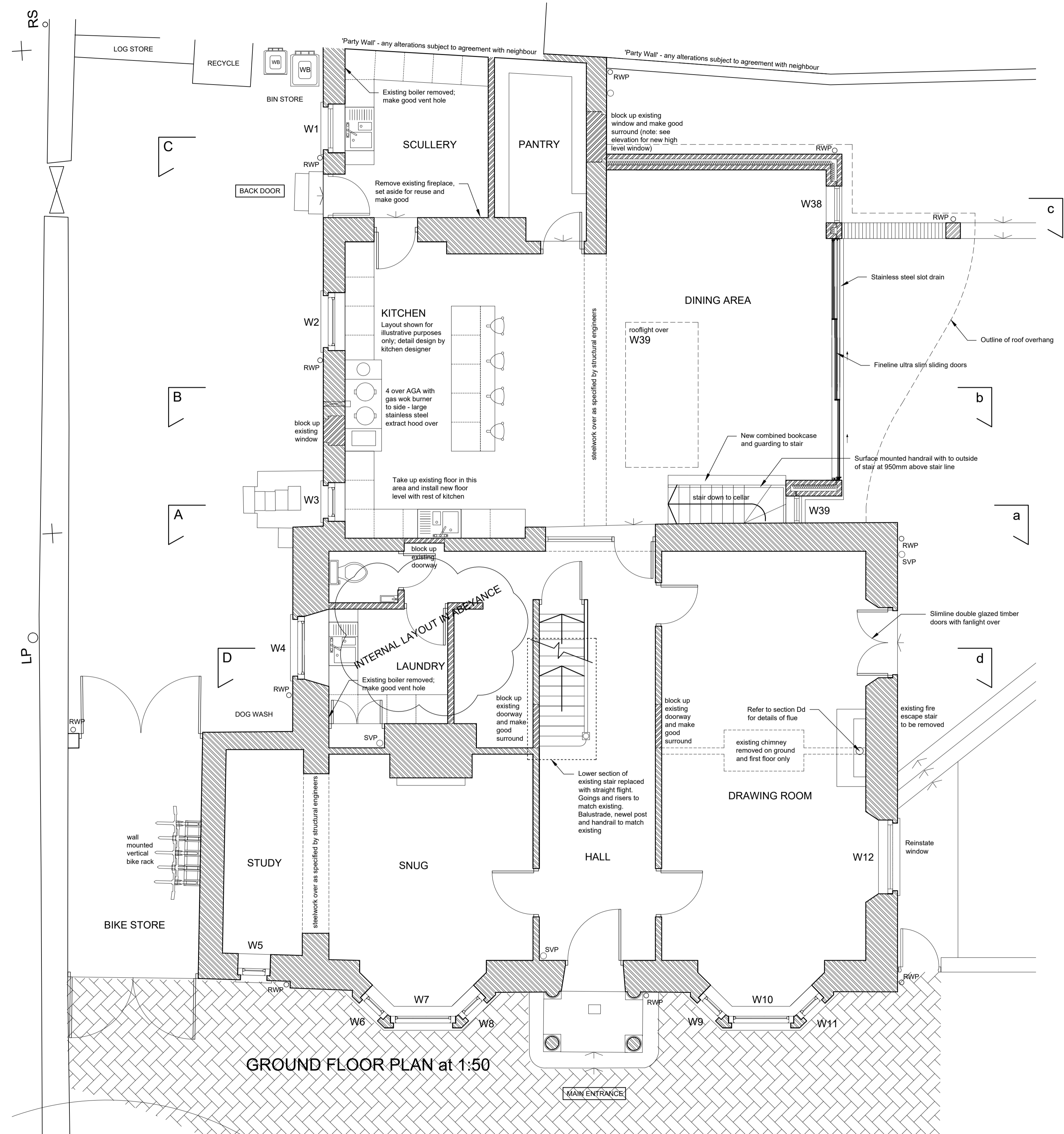
Notes
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Revision	Description	By	Date	Revision	Description	By	Date
P	Initial draft for client	SDW	30/04/21	P6	New driveway amended	SDW	31/03/22
P1	2nd draft for client	SDW	04/06/21	P7	Extension offset from boundary	SDW	22/09/22
P2	Not used						
P3	FCA revisions	SDW	21/01/22				
P4	FCA revisions	SDW	26/01/22				
P5	The planning revisions	SDW	30/03/22				

Project	The Cedars, Llandaff Rd / Romilly Cres, Cardiff				Drawn	SDW
Description	Proposed Site Plan				Date	26/04/21
Job Number	Drawing Number	Revision	P P1 P3 P4 P5		Scale at A1	1:100
121108	L(00) 003		P6 P7		Status	DRAFT



CELLAR PLAN at 1:50



GROUND FLOOR PLAN at 1:50

THE PROJECT IS WITHIN A CONSERVATION AREA

DRAWING TO BE READ IN CONJUNCTION WITH VALE CONSULTANCY STRUCTURAL DESIGN AND INTERIOR DESIGN BY HYGGE AND CWTCH.

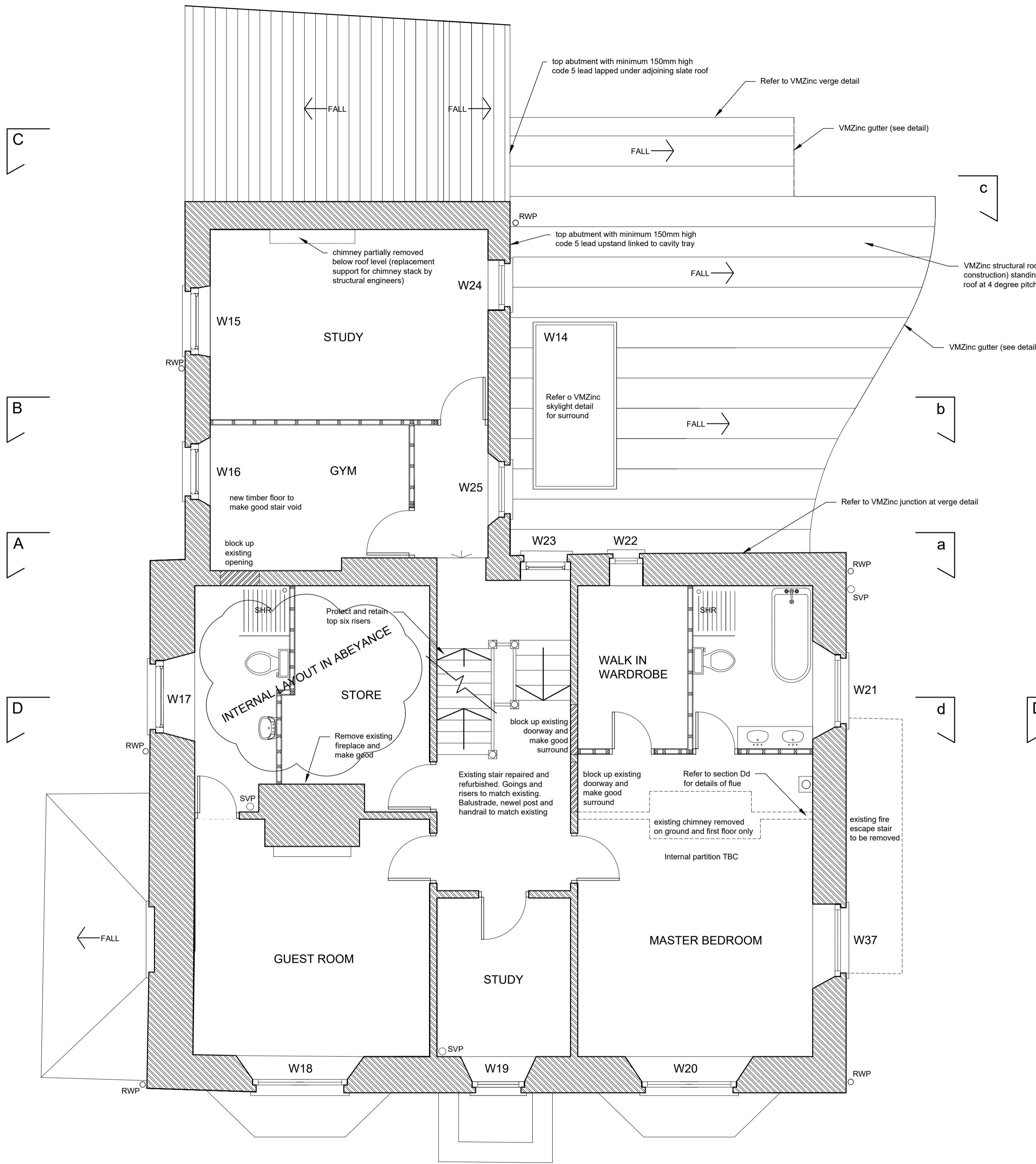
DRAFT ONLY. DESIGN SUBJECT TO PLANNING & BUILDING REGULATION APPROVAL - NOT FOR CONSTRUCTION

Revision	Description	By	Date
T1	Initial draft for client	SDW	27/05/22
T2	2nd draft for client	SDW	17/06/22
T3	Issued to A&B&I	SDW	20/08/22
T4	2m boundary offset	SDW	12/09/22

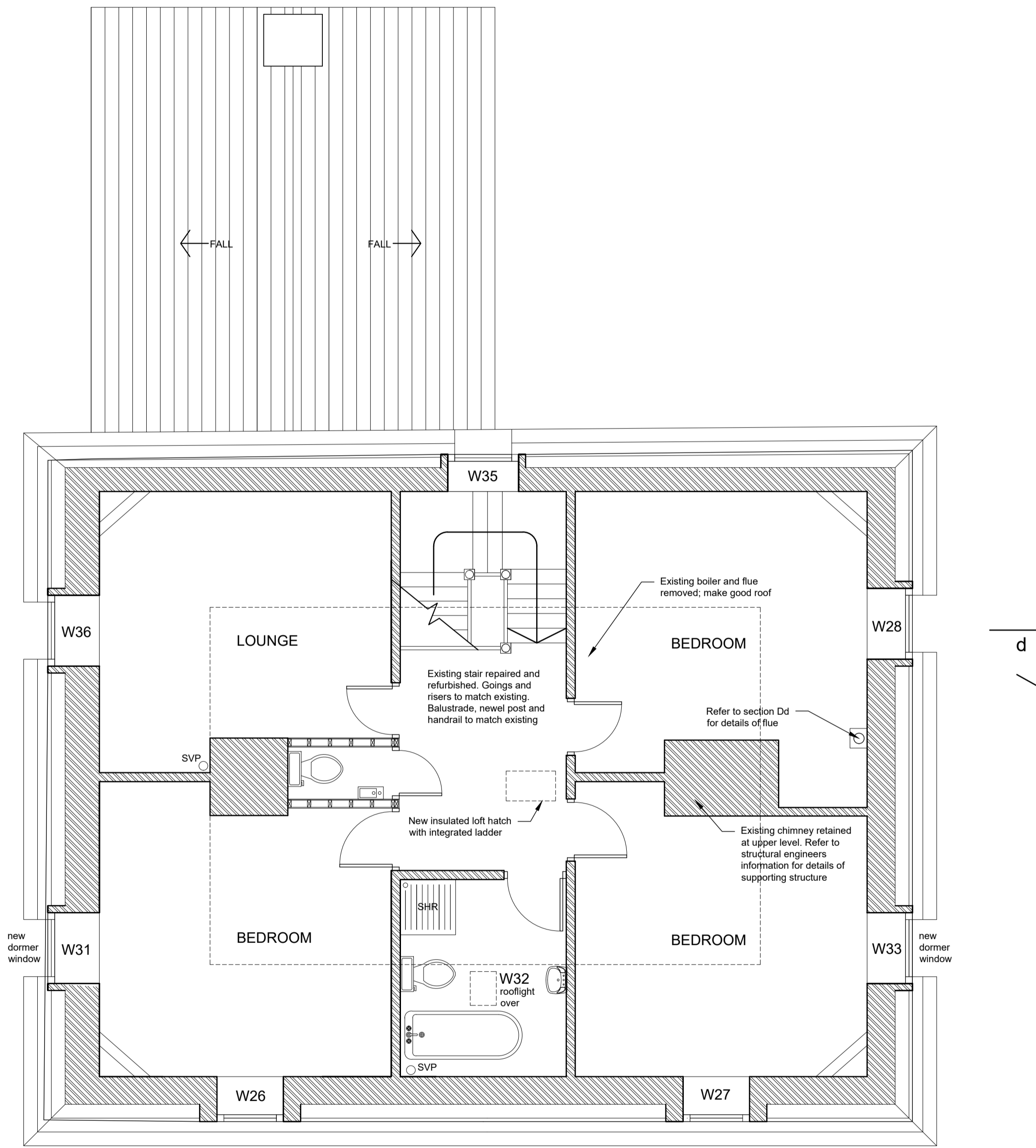
Revision	Description	By	Date

Revision	Description	By	Date

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FIRST FLOOR PLAN at 1:50



SECOND FLOOR PLAN at 1:50

Revision	Description	By	Date
T1	Initial draft for client	SDW	27/05/22
T2	2nd draft for client	SDW	17/06/22
T3	Issued to A&B	SDW	20/06/22
T4	2m boundary offset	SDW	12/09/22

Revision	Description	By	Date

Revision	Description	By	Date

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EXTERNAL WALLS GENERALLY

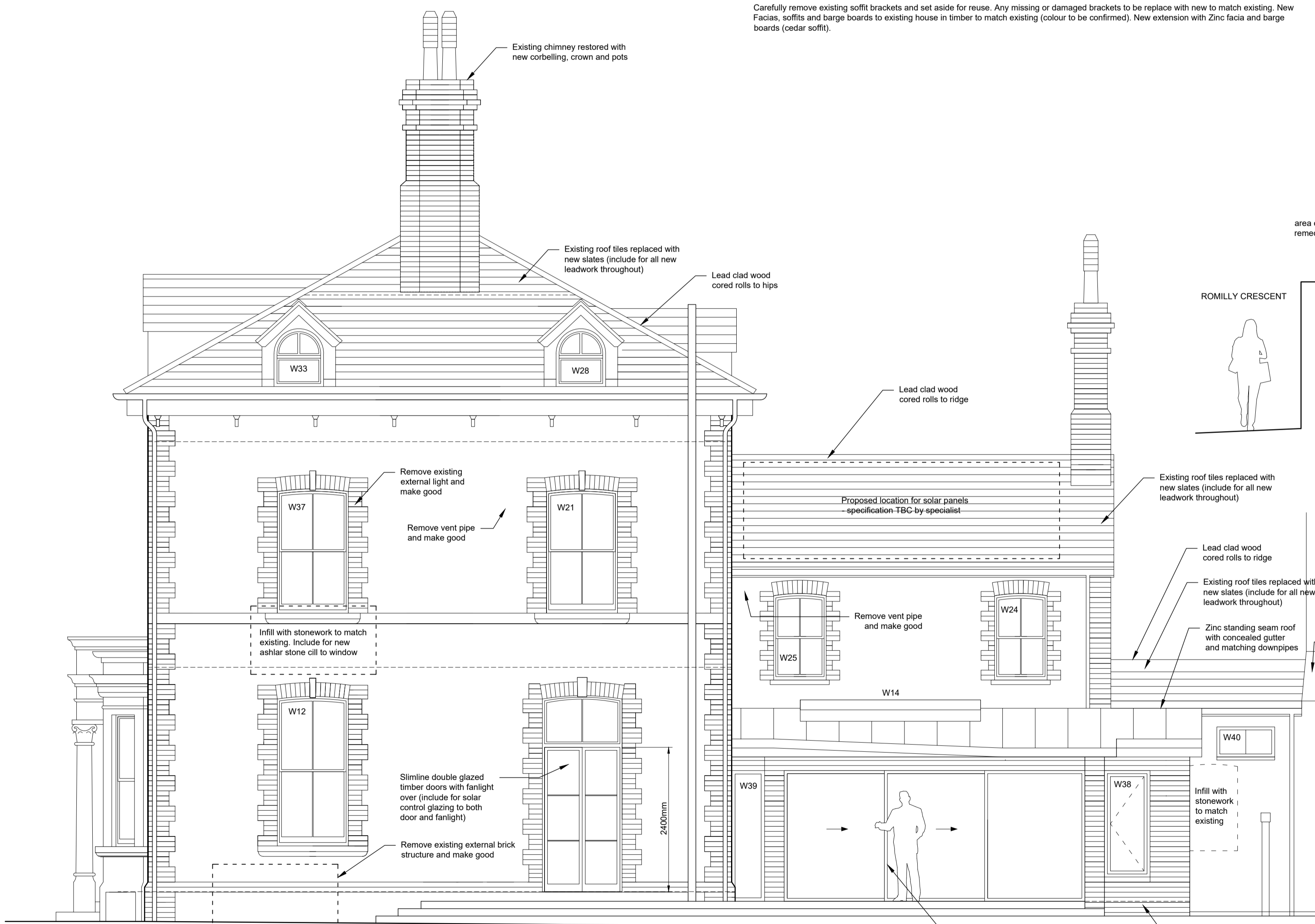
Remove all existing vegetation and climbing plants from external stonework and brickwork. Remove paint from bay windows and portico on west elevation; stonework plinth and stone string course. Clean all external masonry, remove any remaining loose debris and repoint where necessary.

ABOUT GROUND DRAINAGE

All existing rainwater pipes, gutters and soil pipes to be removed. New external rainwater pipes, gutters and soil pipes generally in black aluminium to match existing profiles (with the exception of the new extension which will have Zinc gutters and downpipes to match new roof).

FACIAS & SOFFITS

Carefully remove existing soffit brackets and set aside for reuse. Any missing or damaged brackets to be replaced with new to match existing. New Facias, soffits and barge boards to existing house in timber to match existing (colour to be confirmed). New extension with Zinc fascia and barge boards (cedar soffit).



SOUTH ELEVATION at 1:50



WEST ELEVATION at 1:50

WINDOW SCHEDULE

Ref	Structural opening dimensions	Notes
W1	900mm (w) x 1250mm (h)	Slimline double glazed timber sash window
W2	1075mm (w) x 1500mm (h)	Slimline double glazed timber sash window
W3	675mm (w) x 1000mm (h)	Slimline double glazed timber sash window
W4	1175mm (w) x 2000mm (h)	Slimline double glazed timber sash window
W5	500mm (w) x 2000mm (h)	Slimline double glazed timber sash window
W6	525mm (w) x 2200mm (h)	Slimline double glazed timber sash window
W7	1250mm (w) x 2200mm (h)	Slimline double glazed timber sash window
W8	525mm (w) x 2200mm (h)	Slimline double glazed timber sash window
W9	525mm (w) x 2200mm (h)	Slimline double glazed timber sash window
W10	1250mm (w) x 2200mm (h)	Slimline double glazed timber sash window
W11	525mm (w) x 2200mm (h)	Slimline double glazed timber sash window
W12	1200mm (w) x 2450mm (h)	Slimline double glazed timber sash window with solar control glazing
W13	1325mm (w) x 2025mm (h)	Double glazed timber sash window
W14	1500mm (w) x 3000mm (l)	Sunsquare Skyview rooflight with solar control and coffer lighting
W15	1075mm (w) x 1450mm (h)	Slimline double glazed timber sash window
W16	875mm (w) x 1450mm (h)	Slimline double glazed timber sash window
W17	1200mm (w) x 2050mm (h)	Slimline double glazed timber sash window with SC + obscured glazing
W18	1575mm (w) x 2150mm (h)	Slimline double glazed timber sash window
W19	800mm (w) x 2050mm (h)	Slimline double glazed timber sash window
W20	1575mm (w) x 2150mm (h)	Slimline double glazed timber sash window
W21	1200mm (w) x 2050mm (h)	Slimline double glazed timber sash window with obscured glazing

W22	475mm (w) x 1000mm (h)	Slimline double glazed timber sash window
W23	800mm (w) x 1500mm (h)	Slimline double glazed timber sash window
W24	875mm (w) x 1450mm (h)	Slimline double glazed timber sash window with solar control glazing
W25	875mm (w) x 1450mm (h)	Slimline double glazed timber sash window with solar control glazing
W26	900mm (w) x 1000mm (h)	Slimline double glazed timber sash window inc round arched upper section
W27	900mm (w) x 1000mm (h)	Slimline double glazed timber sash window inc round arched upper section
W28	900mm (w) x 1000mm (h)	Slimline double glazed timber sash window inc round arched upper section
W29	950mm (w) x 1400mm (h)	Slimline double glazed timber sash window
W30	To be confirmed	2# Double glazed conservation roof windows by specialist manufacturer
W31	To match existing dormers	New dormer window to match existing
W32	To match existing	Conservation roof windows by specialist manufacturer to match existing
W33	To match existing dormers	New dormer window to match existing
W34	To be confirmed	2# Double glazed conservation roof windows by specialist manufacturer
W35	To match existing dormers	New dormer window to match existing
W36	900mm (w) x 1000mm (h)	Slimline double glazed timber sash window inc round arched upper section
W37	Opening converted from door	Slimline double glazed timber sash window with solar control glazing
W38	760mm (w) x 1770mm (h)	Double glazed aluminium frame window with solar control
W39	550mm (w) x 2175mm (h)	Double glazed aluminium frame fixed window with solar control
W40	960mm (w) x 500mm (h)	Slimline double glazed high level timber window with solar control glazing

Window schedule dimensions are approximate and for guidance only. All dimensions to be checked on site prior to manufacture. For arched windows, approximate dimensions are to top of arch.

Windows to bedrooms to comply with escape requirements - 0.33 sq m clear openable area, 450mm minimum width and height, clear opening to be no more than 1.1m above finished floor level.

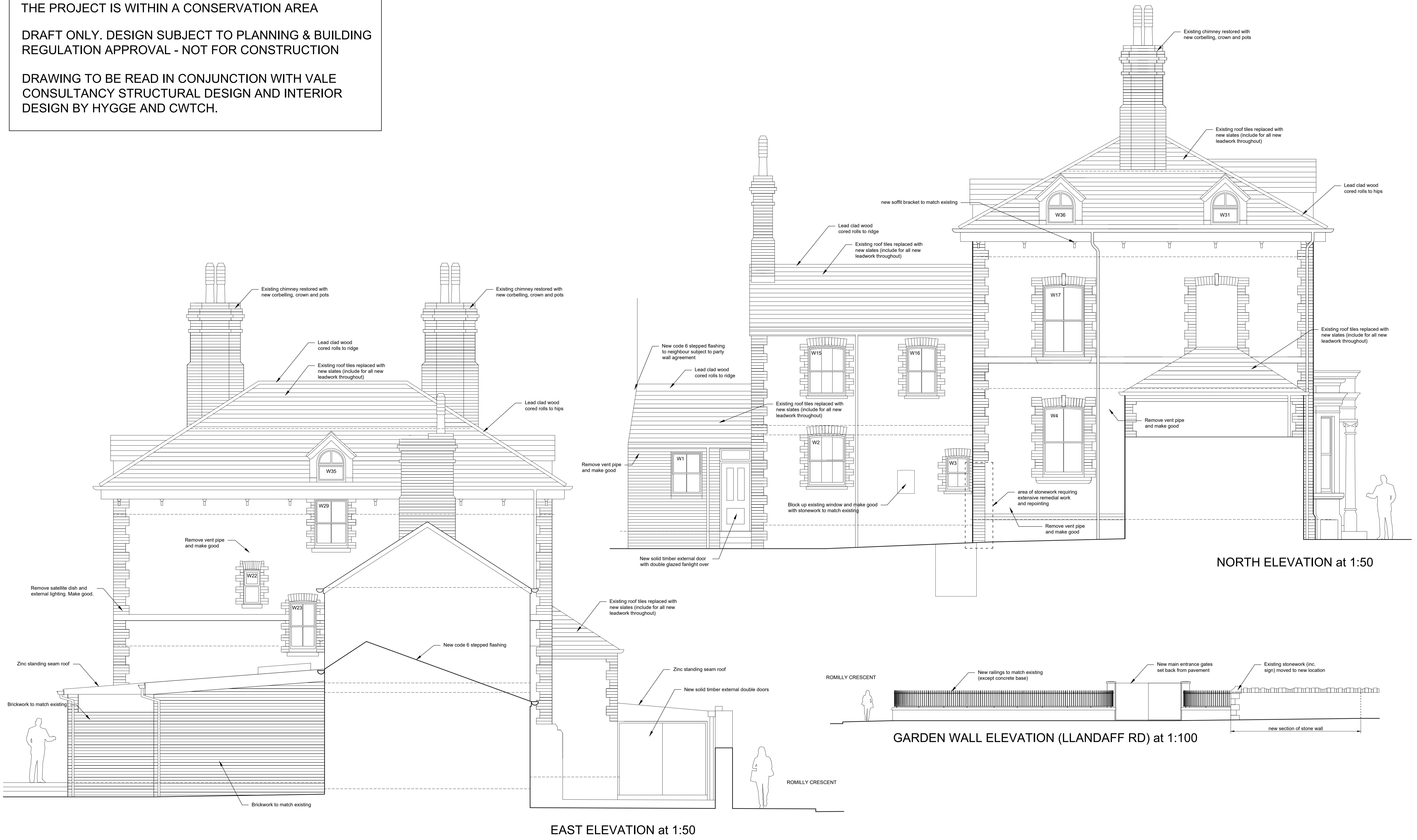
The minimum U-value standard for windows is WER Band C or better, or 1.6 W/M2K

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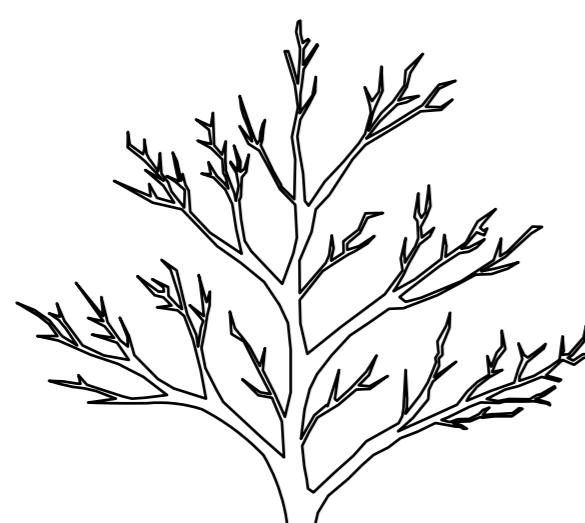
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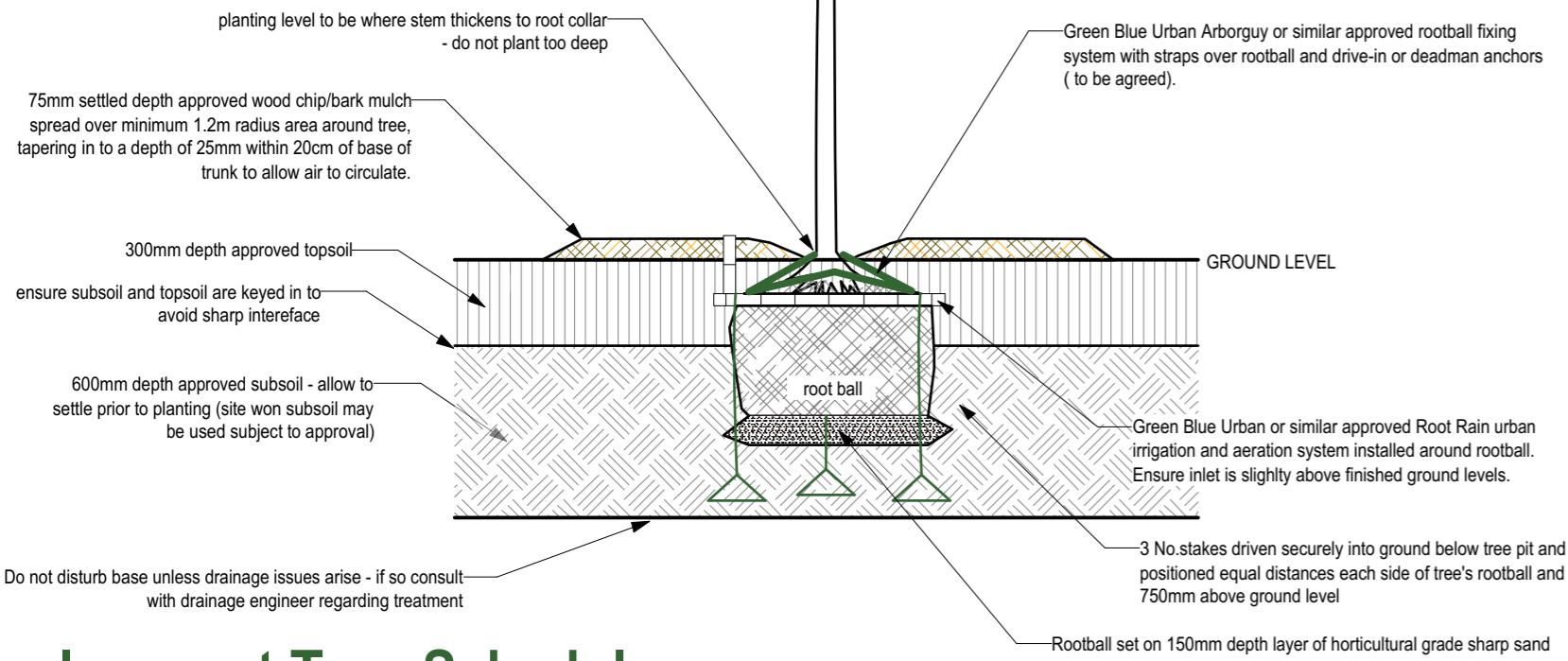
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Project	The Cedars, Llandaff Rd / Romilly Cres, Cardiff			Drawn	SDW
Description	Proposed Elevations - North & East			Date	28/04/21
Job Number	121108	Drawing Number	L(00) 103	Scale at A1	1:50 & 1:100
		Revision	T1 T2 T3 T4	Status	TECH DRAFT



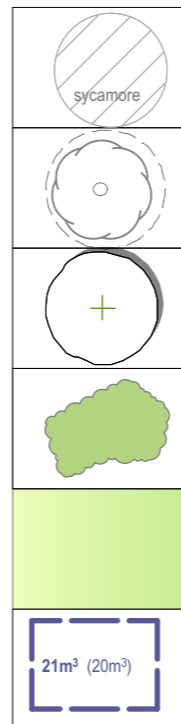
Tree Planting Detail Scale 1:20



Existing wall and copings to be retained, refurbished and reused. Pointing on existing walls to be raked out and redone to match agreed style on new sections of wall at entrance. Existing railings to be reused or replaced to same specification.

Proposed layout to main entrance:
 - new double gates (remote control, opening inwards) to be set back a minimum of 5m from road kerb
 - new stone pillars, 1.8m ht., with stone copings.
 - existing stone wall and railings realigned/replaced to same specification.

Key



Existing trees/vegetation to be removed

Existing trees/vegetation to be retained. Dashed line shows Root Protection Area (RPA)

Proposed replacement trees

Garden planting areas (to include shrubs and herbaceous perennials)

Grass areas (to include mown lawns, flower rich grassland and bulbs in grass)

Root Available Soil Volume

21m³ : soil volume within marked area
 (20m²): recommended soil volume for tree species/variety



B	5.01.22	Tree varieties revised	FEC
C	24.01.22	Layout and boundary details	FEC
D	31.03.22	Tree varieties/driveway reduced	FEC
E	24.05.22	Proposed tree removed	FEC

FIONA CLOKE ASSOCIATES

landscape architecture
environmental planning

Brynant, Soar, Brecon, Powys, LD3 9LT

fc@fionacloke.co.uk www.fionacloke.co.uk
07760 471318

Client
Charles Williams

Project
The Cedars, 106 Llandaff Road, Cardiff

Drawing Title
Tree Retention & Replacement

Date	09.12.21	Drawn	FEC	Scale	1:200/1:20 @ A2
Project No	795	Drawing No	02	Rev	E

Replacement Tree Schedule

ID	Spacing	No.	Botanical Name	Common Name	Scheduled Size
AcRS	TREE	2	Acer campestre 'Red Shine'	Field Maple 'Red Shine'	Extra Heavy Standard, RB, 14-16cm girth
ApD	TREE	1	Acer platanoides 'Deborah'	Norway Maple Deborah	Extra Heavy Standard, RB, 4-4.5m ht, 16-18cm girth
CB Pleached	TREE	14	Carpinus betulus pleached	Hornbeam pleached	Pleached, RB, 3m ht, 1.8m trunk ht, 1.5x1.2m frame
LSSS	TREE	2	Liquidamber styraciflua 'Slender Silhouette'	Sweet Gum 'Slender Silhouette'	Extra Heavy Standard, RB, 4-4.5m ht., 16-18cm girth
PsR	TREE	2	Prunus sargentii 'Rancho'	Sargentii's Cherry Tree	Extra Heavy Standard, RB, 14-16cm girth
SIHV	TREE	3	Sorbus latifolia 'Henk Vink'	Fountainbleau Whitebeam	Extra Heavy Standard, RB, 14-16cm girth
TtB	TREE	1	Tilia tomentosa 'Brabant'	Silver Lime	Semi Mature, RB, 5-5.5m ht., 20-25cm girth

Tree Replacement Specification Notes

General Notes
 • All Nursery Stock to comply with BS3936 Part 1:1992 and all subsequent amendments; species in native mixes to be of local provenance unless otherwise agreed. All trees, tree supply, planting and aftercare to be compliant with BS 8545:2014 including Table 1, p 21, BS 8545:2014.

• All Landscape operations to comply with BS4428:1989 and all subsequent amendments; Turf and turfing to be in accordance with BS3969:1998;

• Any proposed substitutions, whether species, cultivar, pot size or other specification, must be approved by the LPA and landscape architect prior to planting;

The landscape contractor to make him/herself aware of any existing/proposed underground and overhead services prior to planting and ensure that there are no conflicts with planting locations.

Topsoil & Subsoil:
 • Existing topsoil/subsoil on site may be reused subject to the provision of a Soil Resource Survey and Plan that evidences fitness for purpose as per the LPA's Soils Technical Guidance Note.

• Imported topsoil/subsoil to be provided as necessary to make up any deficiency in quantity and/or quality. Imported topsoil to be in accordance with BS3882 multipurpose grade, sandy loam texture, varied as necessary to conform with recommendations of a soil scientist's site and landscape specific interpretive report.

Topsoil & Subsoil continued:
 • Imported subsoil to be in accordance with BS8601:2013 and the recommendations of a soil scientist's site and landscape specific interpretive report. All soils to be stored, handled and placed as DEFRA Construction Code of Practice for the Sustainable Use of Soils on Construction Sites.

• PAS100 compost: provide certificate and source for approval. Arrange for Soil Scientist to inspect a sample load of not less than 0.1 cu m prior to any deliveries being made. Retain for comparison with subsequent loads.

• Avoid working and spreading subsoil or topsoil in conditions which may damage soil structure. If over compaction occurs loosen soil when sufficiently dry and with equipment which minimises further compaction.

Existing Trees
 • Protect retained trees/areas of retained soil where structural landscaping is proposed, in accordance with the approved Arboricultural Method Statement and Tree Protection Plan. Clearly mark all trees/hedges to be removed. Cut down, chip all arisings less than 75mm dia. for use on site. Cut all larger dia. timber into 2m lengths and stack in agreed locations for removal by others. Work near retained trees: take down trees in small sections to avoid damage to adjacent trees.

Planting Generally
 • Planting generally - plant roots must be protected at all times from sun, frost and winds with planting bags used for all bare root material. All plants to be planted to the root collar and well firmed in the backfill material. Backfill material is to be placed around the roots in such a way as to ensure close contact with the roots.

• Immediately after planting cut back any damaged, dead or diseased branches. remove any weak, thin or malformed growth. Water plants thoroughly after planting. Watering to continue as required throughout first growing season following planting.

Tree Planting
 • Where retained, in situ soil cannot be used, the following soil profile is required for trees - 300mm depth topsoil over 600mm depth subsoil across the Soil Volume areas shown on this plan. Ssee General Notes for soil specifications. Avoid excavation under retained existing trees.

• See Tree Planting Detail: excavate an area the same depth and twice the width of the rootball. Break up sides of tree pit. Include 150mm depth horticultural grade sharp sand under rootball. Backfill with 300mm depth topsoil over 600mm depth subsoil. Compost to be added if so required by Soil Resource Survey.

• Trees to be securely fixed in ground using Green Blue Urban Arboguy or similar approved rootball fixing system with straps over rootball and drive-in or deadman anchors (to be agreed).

• Spread a 75mm settled depth of approved wood chip/bark mulch over minimum 1.2m radius area around tree, tapering in to a depth of 25mm within 20cm of base of trunk to allow air to circulate.

Maintenance
 • Maintenance to be carried out in accordance with relevant sections of BS 7370. Grounds Maintenance. All planting areas and tree bases to be kept free of weeds by chemical and/or mechanical means.

• Remove any dead trees and replace with equivalent size and species in first 5 years after planting.

• Water as necessary to establish plants successfully.

• Tree Irrigation: in first 6 months water base of each tree twice a week with 30L of water, except when soil is already saturated. In following 18 months continue to water at least twice a month when soil conditions are dry.

• Check stakes and ties and adjust to avoid damage to trees. Remove stakes and ties after no more than 2 growing seasons. Refirm any plants which have worked loose. Replace stakes/ties as necessary and check tree ties regularly.

• Prune plants according to species, location and season to remove damaged/dead growth and to encourage healthy growth with a well-balanced natural appearance. Carry out formative pruning of trees as BS 3998:2010 after an annual assessment (all by an arboriculturalist).

• Maintain mulch at 75mm depth for a minimum of 3 years.

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PETITION & LOCAL MEMBER OBJECTION

COMMITTEE DATE: 06/10/2022

APPLICATION No. **22/01411/DCH**

DATE RECEIVED: 01/07/2022

ED: **RADYR**

APP: TYPE: Full Planning Permission

APPLICANT: Mr Coles

LOCATION: 43 Pentwyn, Radyr, Cardiff, CF15 8RE

PROPOSAL: GROUND FLOOR AND FIRST FLOOR EXTENSION WITH NEW CROSSOVER AND CARPORT

RECOMMENDATION 1: That planning permission be **GRANTED** subject to the following conditions:

- 1 C01 – Statutory Time Limit
- 2 The development shall be carried out in accordance with the approved drawings numbered:
 - A001A – proposed site layout;
 - A003 – proposed ground floor plan;
 - A004 – proposed first floor plan;
 - A007 – proposed elevations 1;
 - A008 – proposed elevations 2.

Reason: To ensure satisfactory completion of the development and for the avoidance of doubt in line with the aims of Planning Policy Wales to promote an efficient planning system.
- 3 The first floor windows in the east and west side elevations shall be non-opening below a height of 1.7m above internal floor level and glazed with obscure glass, and thereafter be retained.

Reason: To ensure that the privacy of adjoining occupiers is protected in accordance with Policy KP5 of the Local Development Plan.

RECOMMENDATION 2: A section 184 permit is required for the replacement vehicular crossover to the adopted highway footway. The applicant is advised to contact Asset Management (029 2078 8166 assetmanagement@cardiff.gov.uk).

1. **DESCRIPTION OF PROPOSED DEVELOPMENT**

- 1.1 The application seeks planning permission to erect ground and first floor extensions and a vehicular crossover at a detached bungalow dwelling. The scale, design and position of the development is illustrated in full on the submitted drawings.

- 1.2 A first floor extension is proposed approximately 15.6m wide by 10.7m deep, with a hipped pitched roof 5.4m high at eaves and 8.1m at ridge, finished in render with a slate roof. A single storey extension is proposed, projecting approximately beyond the rear of the first floor extension by 2.6m at a width of 18.7m overlapping the east side by 3m. with a flat roof 3m high. A carport is proposed to the east side, projecting approximately 3.6m from the east side, with a flat roof 3m high.
- 1.3 A new vehicular crossover is proposed at the east end of the frontage, to replace the existing crossover at the west end.
- 1.4 The originally submitted proposed site plan drawing did not correctly show the extent of the rear garden, a revised drawing was submitted following re-measurement of the rear garden.

2. **DESCRIPTION OF SITE**

- 2.1 The site comprises a detached bungalow dwelling on the south side of Pentwyn, adjoined by a detached bungalow to the east and in close proximity to a two storey detached dwelling to the west, separated by a public footpath. The site is adjoined by two storey detached dwelling houses to the rear. There is an area of public open space directly opposite the front of the site, the wider context of the opposite side to the west and east is two storey detached dwellings.

3. **SITE HISTORY**

- 3.1 21/02622/DCH – planning permission refused for ground floor extensions, overall first floor extension, new roof with dormer extensions and crossover.

4. **POLICY FRAMEWORK**

4.1 Relevant National Planning Guidance:

Planning Policy Wales (Edition 11, 2021)
Future Wales - the National Plan 2040
Technical Advice Note 12: Design

4.2 Relevant Cardiff Local Development Plan (2006-2026) policies:

Policy KP5 (Good Quality and Sustainable Design)
Policy T5 (Managing Transport Impacts)

4.3 Relevant Supplementary Planning Guidance

Residential Extensions & Alterations (2017).
Managing Transportation Impacts (Incorporating Parking Standards) 2018.

5. **INTERNAL CONSULTEE RESPONSES**

- 5.1 Transportation – The maximum car parking for a 2+ bedroom dwelling is 2 spaces. There is a car parking space proposed for this development, which is allowable in policy terms, and the space has acceptable dimensions. A new crossover has been proposed which is not considered to be an issue. Should permission be granted a vehicle crossover application will need to be submitted and the existing crossover will need to be removed and full height footway reinstated.

6. **EXTERNAL CONSULTEE RESPONSES**

- 6.1 None.

7. **REPRESENTATIONS**

- 7.1 The application was publicised by neighbour letter. A petition of objection was received, signed by 117 residents with addresses in Cardiff, 113 of which could reasonably be affected by the matter when passing the application site. Full details are viewable online.

- 7.2 Objections have been received from the following addresses:

- nos. 28, 30, 41, 45, 54 Pentwyn.
- no. 2 Clos Brynmelwyn.
Full details are viewable online, their comments are summarised as follows:
 - a) *Scale and design out of character;*
 - b) *Insufficient garden space retained;*
 - c) *Overbearing impact upon adjoining properties;*
 - d) *Overlooking of neighbouring gardens;*
 - e) *Adverse effect on parking and highway safety.*
 - f) *Tunnelling impact of two storey elevation upon adjoining public footpath;*
 - g) *Loss of bungalow accommodation which is suitable for disabled and elderly persons;*
 - h) *Loss of front hedge;*
 - i) *Potential use as a HMO;*
 - j) *Impact upon drainage;*
 - k) *Previous refusal of permission.*

- 7.3 Cllr Calum Davies objects to the application as follows:

- *Planning permission had previously been denied on a five bedroom house, yet this application is for six bedrooms. Despite claims that this revised plan better conforms to the criteria set out at the last refusal, it would not be possible to do this by a significant enough degree when taking into account more occupants and bedrooms.*

- *The size of No.43 should plans go ahead could have a detrimental effect on the mental health of residents at homes where natural light is blocked as a result.*
- *The necessary parking space for a home of this size is not accommodated for and, because of which, this can lead to a high degree of pavement parking, obstructing access for disabled residents, including the neighbour at No.41 who have lodged their own objections.*
- *With a petition with well over 100 signatures in objection to the application, it is clear that the project does not enjoy public support or, at least, has garnered a strong degree of opposition.*
- *It is true that this part of Pentwyn consists of a stretch of bungalows, suitable for the disabled and elderly, providing valuable space for those with mobility problems and the desire to downsize, freeing up existing housing stock for larger families. The application would remove this.*
- *The application allegedly consists of false information which should void it.*

7.4 Cllr Helen Lloyd Jones objects to the application as follows:

- *The proposed building is not in keeping with the street scene. This is an area of bungalows and the proposals on this application are for a large house.*
- *The proposed building will overlook other properties.*
- *The application is for six bedrooms, four of them with ensuite facilities and yet only one parking space. This is inadequate parking for such a large house.*
- *The neighbour who lives in 41 Pentwyn has a severe case of rheumatoid arthritis. She is able to live independently because of ramps which enable her to go in and out of her property on a disabled wheelchair. It would only take one car to be parked across her access point to her home to stop her independence.*
- *The building will take light from the neighbour's kitchen.*
- *The disabled lady will find herself overlooked and will lose privacy.*
- *There is a footpath beside 43 Pentwyn which children use to walk to Brynderi primary school. The school is encouraging families to walk their children to school. This is very much in line with the Council's desire for active travel.*
- *This application would alter the natural light on the footpath, making it darker, and the high wall would make the path intimidating to small children.*
- *Changing this route for the children would make the walk longer and many parents would turn to driving their children to school rather than spend extra time walking them on a longer route. This would reduce the amount of active travel in the area.*
- *The public transport in the Pentwyn area of Radyr is very unreliable. It is highly unlikely that the people living in 43 Pentwyn will not have more than one car in the foreseeable future. There is scope for twelve adults to be living in 43 Pentwyn if this application is allowed, with a real possibility of twelve car owners living there. There is not sufficient off-road parking for this dwelling.*

8. **ANALYSIS**

8.1 The key issues are the effect of the proposal upon the character and appearance of the area and on the living conditions of neighbours.

8.2 Design

The proposed first floor extension would result in the overall building being increased from single to two storey height, primarily at the centre and west side of the building, and single storey height being retained at the east side. Whilst this would result in replacement of a bungalow dwelling with a two storey dwelling, the height would not be out of character with the locality as there is a row of two storey detached dwellings immediately to the west, and two storey dwellings to the rear. Furthermore, the wider context of the opposite side of the street to the west and east is characterised by two storey detached houses of differing roof forms. The proposal would not result in a two storey dwelling being isolated between two bungalow dwellings. In addition, the two storey element of the extended building would also be set back from the east side boundary, presenting a visual step down in built form to single storey height near to the existing bungalow at no. 41 Pentwyn. The car port at the side would not protrude forward of the front elevation. Accordingly the increase in height at this particular location would not appear discordant within the street scene or out of character with the pattern of built form of the locality.

The overall footprint of the building is considered appropriate, and proportional with buildings within this residential estate. Approximately 160 square metres of useable private external amenity space would be retained at the rear, vastly exceeding the minimum recommended by the Residential Extensions & Alterations SPG.

The extensions would be finished in appropriate materials to match the existing building, in accordance with the Residential Extensions & Alterations SPG. It is noted that a mixture of facing brick and render are used on the existing buildings within the locality. Approximately 160 square metres of useable private external amenity space would be retained at the rear, which exceeds the minimum recommended by the Residential Extensions & Alterations SPG and is considered proportional with neighbouring properties.

It is noted that a previous application (21/02622/DCH) was refused for reasons including scale and design. However, having regard to the current proposal, it is considered that a refusal of planning permission for the same reason cannot be justified.

8.3 Residential Amenity

It is considered that the proposal would not be overbearing or generally un-neighbourly which would justify concern for the Local Planning Authority, the proposal complies with the advice contained within the Residential Extensions & Alterations SPG. The proposed first floor extension would be set off from

the boundary with no. 41 Pentwyn by 5.6m and from no. 45 Pentwyn by 3.5m. It should also be noted that there is an existing single storey structure within close proximity to part of the boundary at no. 41 and an existing single storey garage within close proximity to the boundary at no. 45 of similar depth as the proposed first floor extension. The proposed single storey rear extension would be set off from the boundary with no. 41 Pentwyn by approximately 1.8m. The rear facing first floor windows would be sited approximately 11m from the rear gardens of nos. 1 & 2 Brynmellyn and 2 Windsor Grove, compliant with the minimum 10.5m recommended by the Residential Extensions & Alterations Design Guide. The rear facing first floor windows would also be sited approximately 25m from the nearest windows of no. 2 Brynmellyn at the rear, exceeding the minimum 21m recommended by the Residential Extensions & Alterations Design Guide. It is noted that the first floor side facing windows in the existing side elevations would be sited approximately 5.6m and 3.5m from the side boundaries of nos. 41 & 45 Pentwyn respectively, which is less than the minimum of 10.5m recommended by the Residential Extensions & Alterations Design Guide. Condition 3 is considered necessary to ensure these windows are obscure glazed and non-opening below an internal height of 1.7m.

It is noted that a previous application (21/02622/DCH) was refused for reasons including loss of amenity virtue of overlooking to neighbouring properties. However, having regard to the current proposal, it is considered that a refusal of planning permission for the same reason cannot be justified.

8.4 Transportation

The Managing Transportation Impacts (Incorporating Parking Standards) SPG identifies no minimum car parking requirement and a maximum of two car parking spaces for a residential dwelling. The proposal is therefore considered to be car parking policy compliant. In respect of highway safety, Transportation have confirmed that there are no issues with the proposed new vehicular crossover. An additional recommendation is included that the necessary license is obtained for the replacement crossover.

8.5 Impact upon Public Footpath

It is considered that the proposal would not have any unreasonable affect upon the adjoining public footpath to the west of the site, having regard that the first floor extension would be set off from the west side boundary by approximately 1m. This distance is comparable with other two storey dwellings adjacent to public footpaths within this residential estate, including paths between nos. 16-18, 21-23, 25-27, and 79-81 Pentwyn.

8.6 Representations

The representations received from Cllrs Calum Davies and Helen Lloyd Jones, and local residents are noted. Specific issues are addressed as follows:

- a) Scale and design out of character. The proposed extensions are considered appropriate as detailed within the above design analysis.
- b) Insufficient garden space retained. Approximately 160 square metres of useable private external amenity space would be retained at the rear, which exceeds the minimum recommended by the Residential Extensions & Alterations SPG and is considered proportional with neighbouring properties.
- c) Overbearing impact upon adjoining properties. The proposed extensions are considered appropriate as detailed within the above amenity analysis.
- d) Overlooking of neighbouring gardens. It is considered that the proposal would not result in loss of privacy as detailed in the above amenity analysis. Condition 3 would ensure the first floor east and west side facing windows are obscure glazed and non-opening below an internal height of 1.7m.
- e) Adverse effect on parking and highway safety. The proposal is compliant with the Managing Transportation Impacts (Incorporating Parking Standards) SPG which identifies no minimum car parking requirement and a maximum of two car parking spaces for a residential dwelling, as detailed in the Transportation analysis.
- f) Tunnelling impact of two storey elevation upon adjoining public footpath. It is considered that the proposal would not have any unreasonable affect upon the adjoining public footpath as the first floor extension would be set off from the west side boundary by approximately 1m, which is comparable with the distance between dwellings and other public footpaths in the locality as detailed in the above impact upon public footpath analysis.
- a) Loss of bungalow accommodation which is suitable for disabled and elderly persons. There is no planning policy/guidance specifically requiring bungalows to be retained as single storey dwellings for reason that they are most suitable for disabled and elderly persons.
- g) Loss of front hedge. The hedge within the site is not subject to a Tree Preservation Order, and therefore afforded no statutory protection. Planning permission would not be required to remove part of the front hedge to facilitate the proposed new vehicular crossover, however in any case it is noted that replacement landscaping is proposed at the front where the current crossover is positioned.
- h) Potential use as a HMO. The application proposes extensions to an existing residential dwelling house (class C3) and does not propose any change of use to a house in multiple occupation (class C4). Planning permission would be required to change the use to class C4.
- i) Impact upon drainage. Drainage would be considered by the building regulations procedure. It should be noted that there is no planning control on the number of bathrooms/toilets within a single dwelling house, and the application does not propose any change of use or subdivision to flats.
- j) Previous refusal. It is noted that a previous application was refused for reasons of scale & design, and loss of amenity to neighbouring properties. However, the current proposal is policy compliant as detailed within the above design and residential amenity analysis.

8.7 Other Legal Considerations

Crime and Disorder Act 1998 – Section 17(1) of the Crime and Disorder Act 1998 imposes a duty on the Local Authority to exercise its various functions

with due regard to the likely effect of the exercise of those functions on, and the need to do all that it reasonably can to prevent, crime and disorder in its area. This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable increase in crime and disorder as a result of the proposed decision.

Equality Act 2010 – The Equality Act 2010 identifies a number of ‘protected characteristics’, namely age; disability; gender reassignment; pregnancy and maternity; race; religion or belief; sex; sexual orientation; marriage and civil partnership. The Council’s duty under the above Act has been given due consideration in the determination of this application. It is considered that the proposed development does not have any significant implications for, or effect on, persons who share a protected characteristic.

Well-Being of Future Generations Act 2016 – Section 3 of this Act imposes a duty on public bodies to carry out sustainable development in accordance with the sustainable development principle to act in a manner which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs (Section 5). This duty has been considered in the evaluation of this application. It is considered that there would be no significant or unacceptable impact upon the achievement of wellbeing objectives as a result of the recommended decision.

8.8 Conclusion

It is concluded that the application is acceptable in accordance with the planning policies listed, and is recommended that planning permission be granted, subject to conditions.



Extent of building at 1st floor

Flat Roof

Existing blockwork boundary wall

Vehicle access from Pentwyn Rd

Proposed pergola to car port

Proposed flat roof over existing ground floor

Line of existing rear wall of dwelling

Pedestrian Access

10875

2675

8200

Fence

9294

2675

6620

Existing Lane

11289

Fence

Existing Lane

Existing Lane

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All dimensions are indicative only.

Rev A. Boundary wall adjusted to reflect site dimensions 31.08.22

43, Pentwyn Road
Radyr, Cardiff

Proposed Site Layout

Project number 22001

Date June 2022

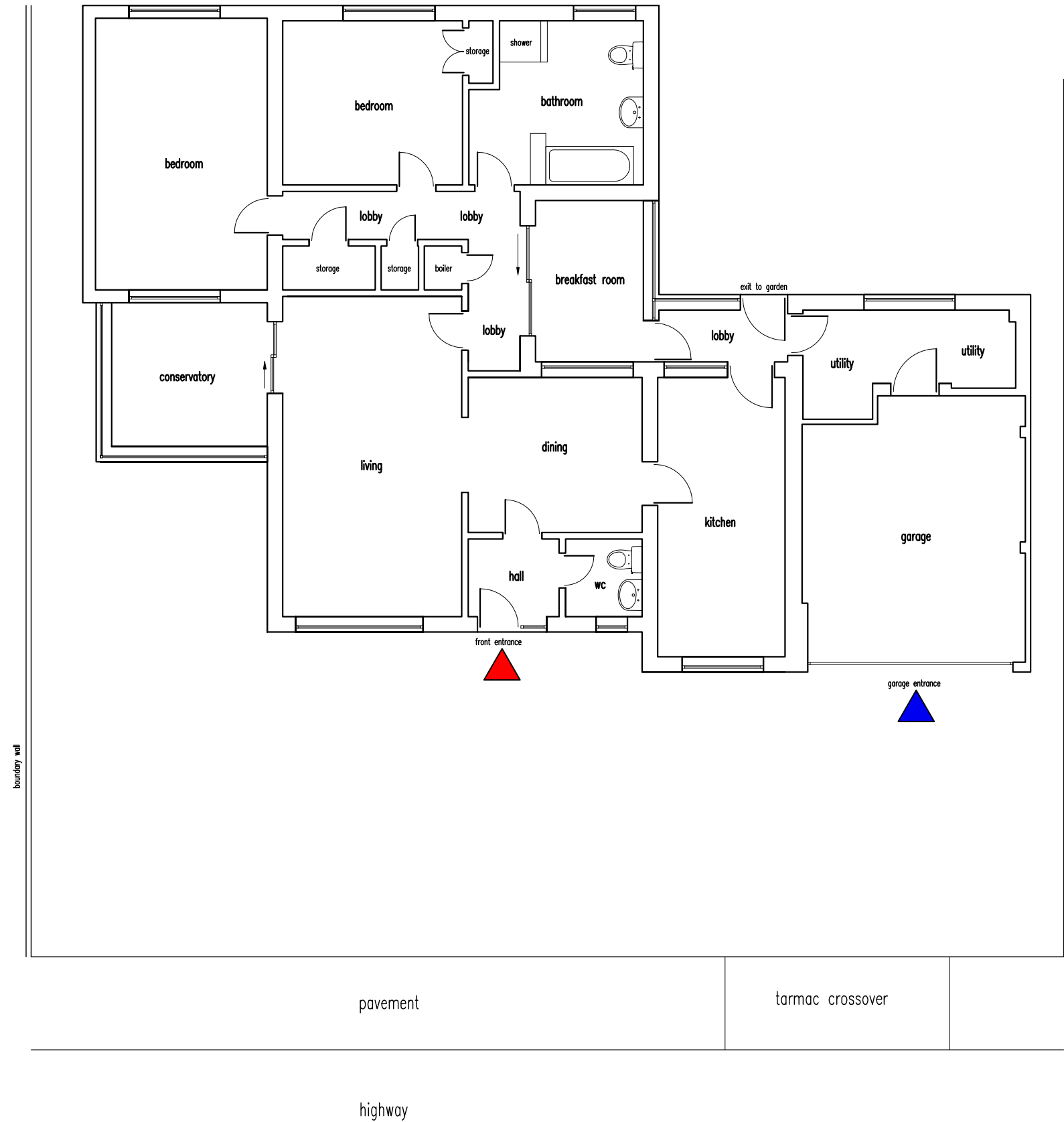
Drawn by PD

A001

Scale 1 : 100 Rev A

Proposed Site Plan

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Note
 Existing Survey Information
 Information provided by client agreement.
 Draft for information only

Existing Floor Plan

43, Pentwyn Road Radyr, Cardiff	
Existing Ground Floor Plan	
Project number	22001
Date	June 2022
Drawn by	PD
A002	
Scale	1:100 @A3

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Existing Front Elevation

Note

Existing Survey Information
 Information provided by client agreement.

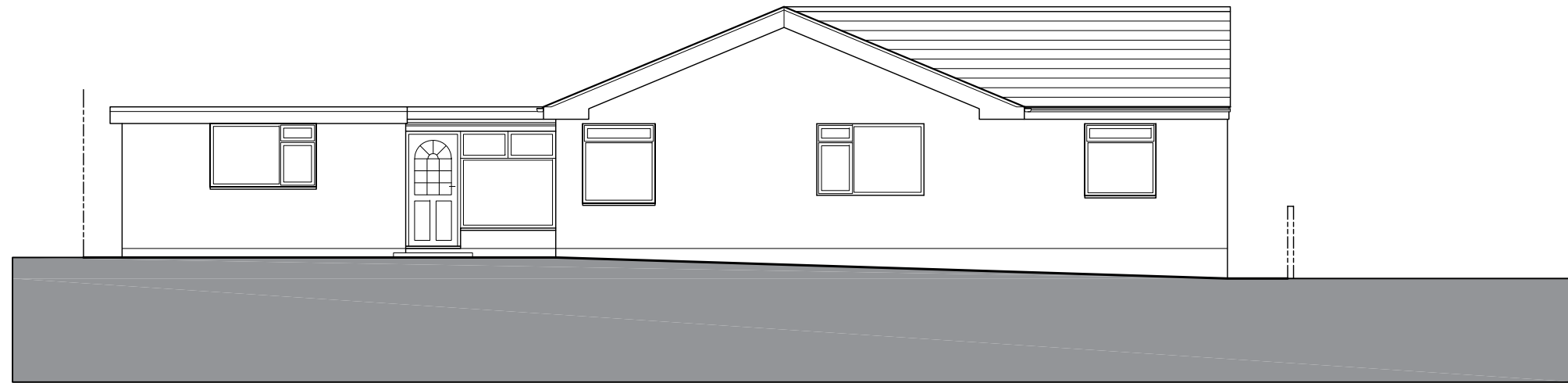
Draft for information only



Existing North Elevation

43, Pentwyn Road Radyr, Cardiff	
Existing Elevations 1	
Project number	22001
Date	June 2022
Drawn by	PD
A005	
Scale	1:100 @A3

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Existing Rear Elevation



Existing South Elevation

Note

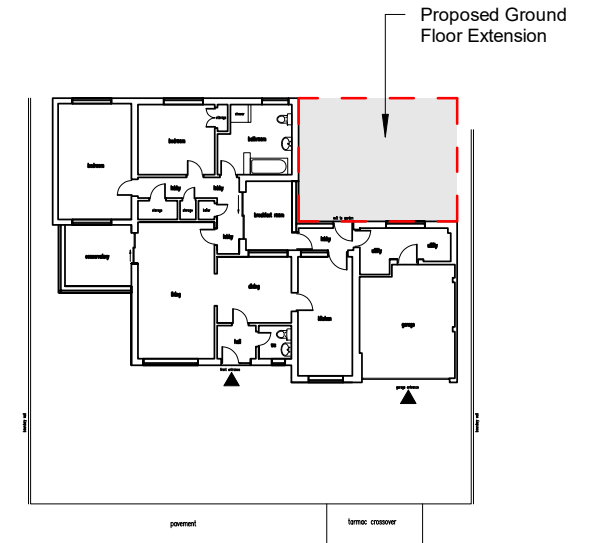
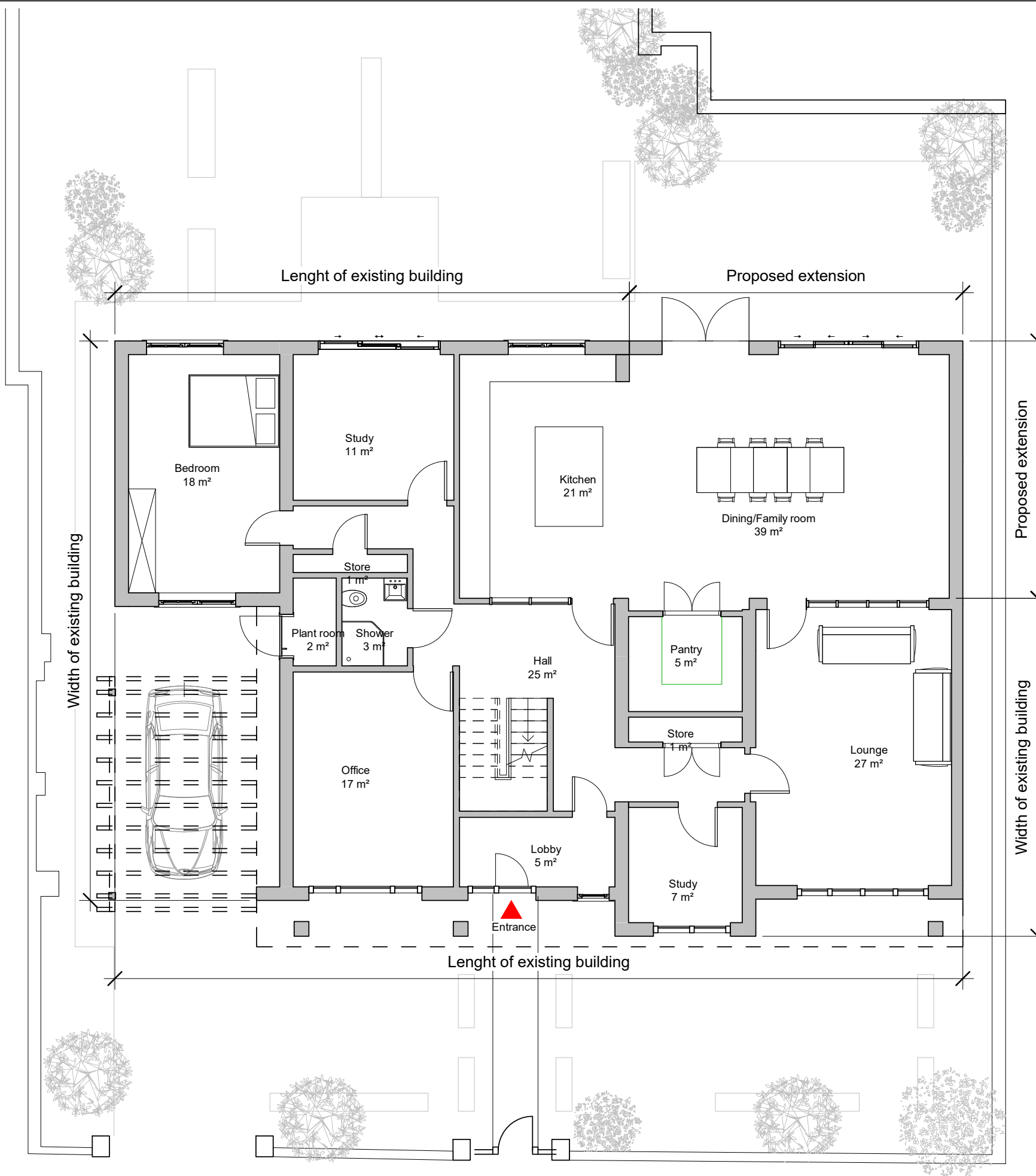
Existing Survey Information
 Information provided by client agreement.

Draft for information only

43, Pentwyn Road Radyr, Cardiff	
Existing Elevations 2	
Project number	22001
Date	June 2022
Drawn by	PD
A006	
Scale	1:100 @A3

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Note:
 Ground floor walls are existings

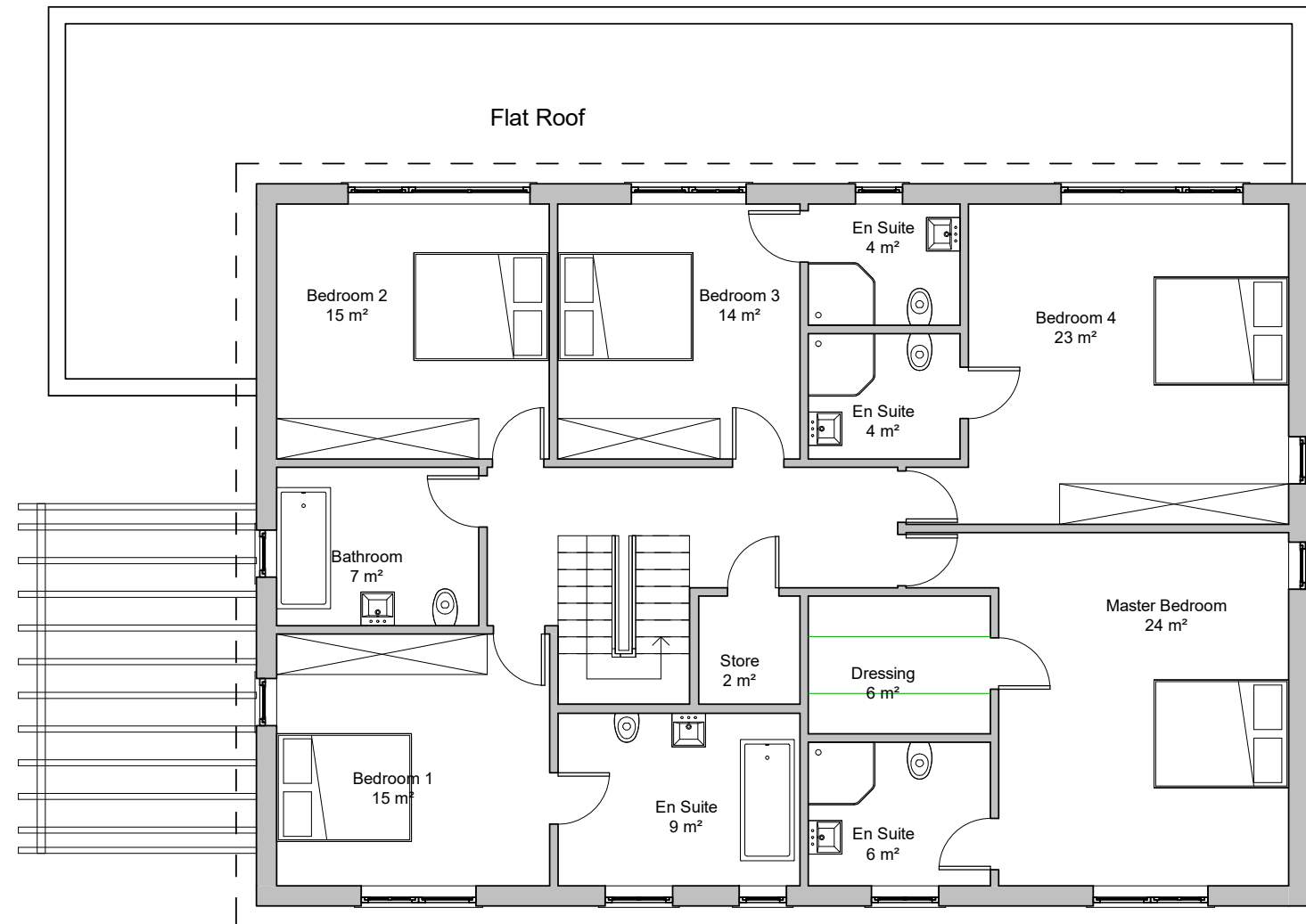


Existing Floor Plan - Do not scale

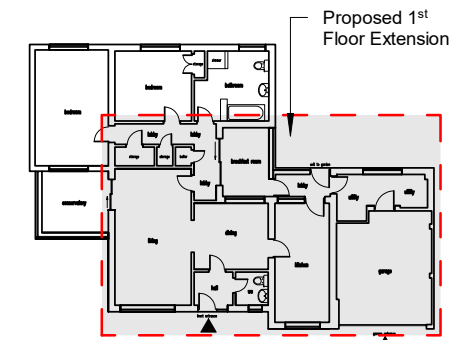
Proposed Ground Floor Plan

43, Pentwyn Road Radyr, Cardiff	
Proposed GF Plan	
Project number	22001
Date	June 2022
Drawn by	PD
A003	
Scale	1:100@A3

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Proposed First Floor Plan

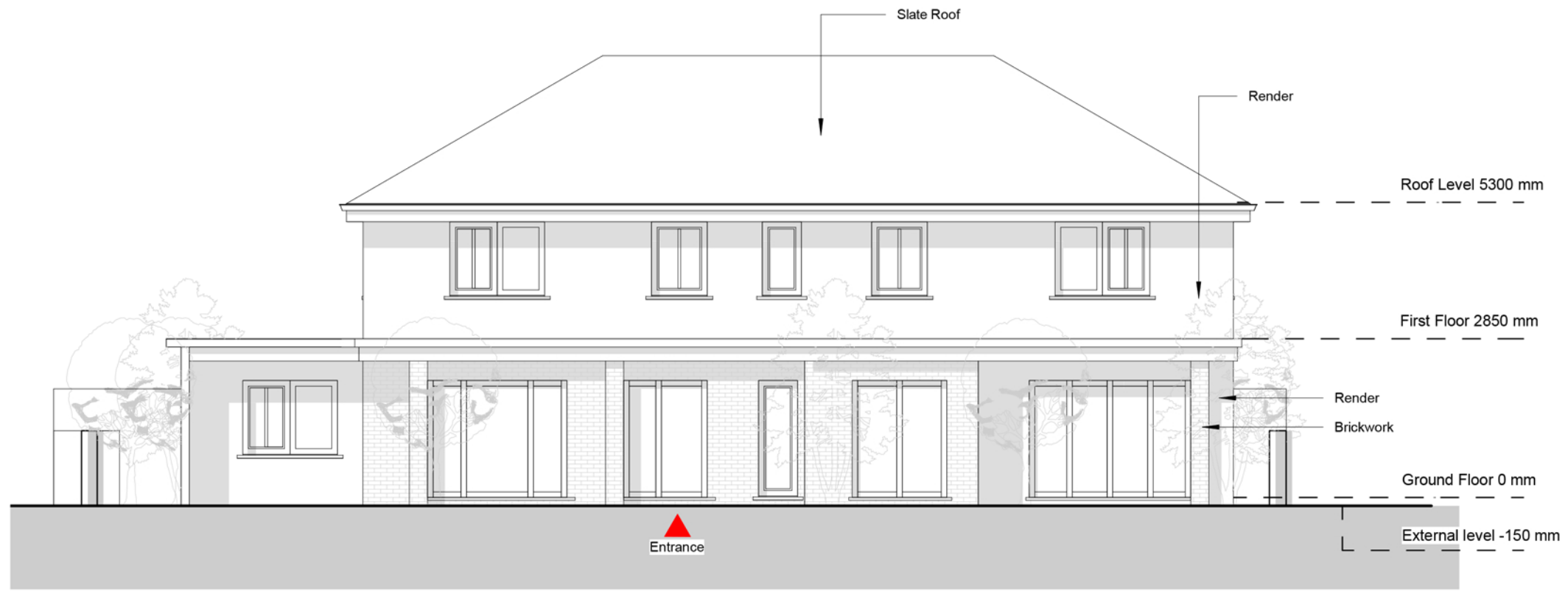


Existing Floor Plan- Do not scale

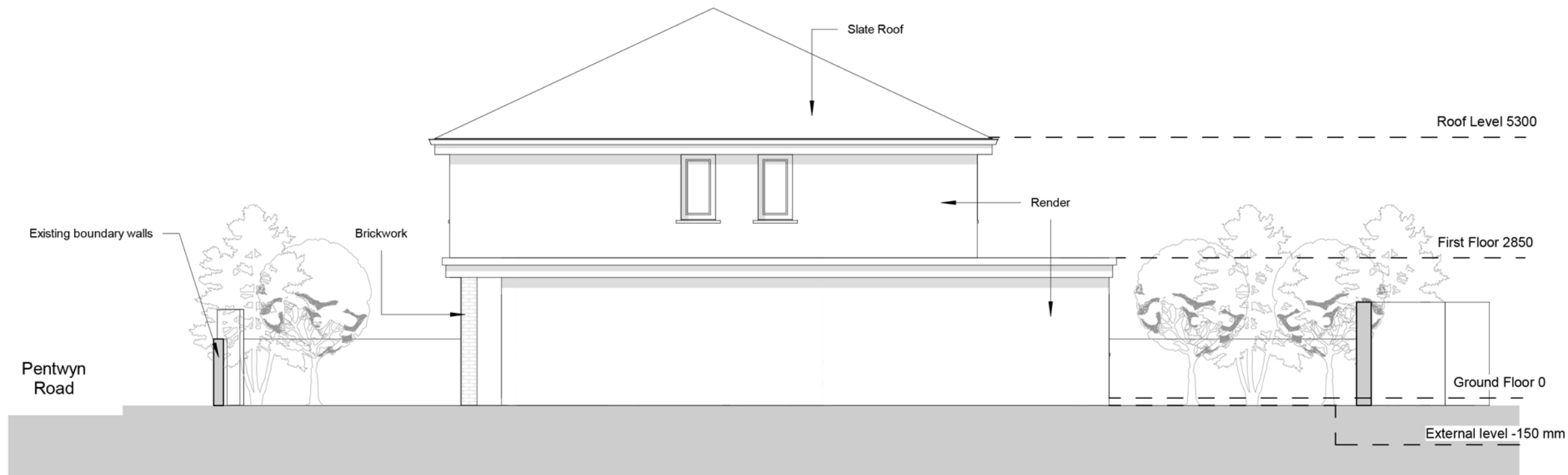
43, Pentwyn Road Radyr, Cardiff	
Proposed FF Plan	
Project number	22001
Date	June 2022
Drawn by	PD
A004	
Scale	1:100 @A3

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Note:
 Ground floor walls are existings



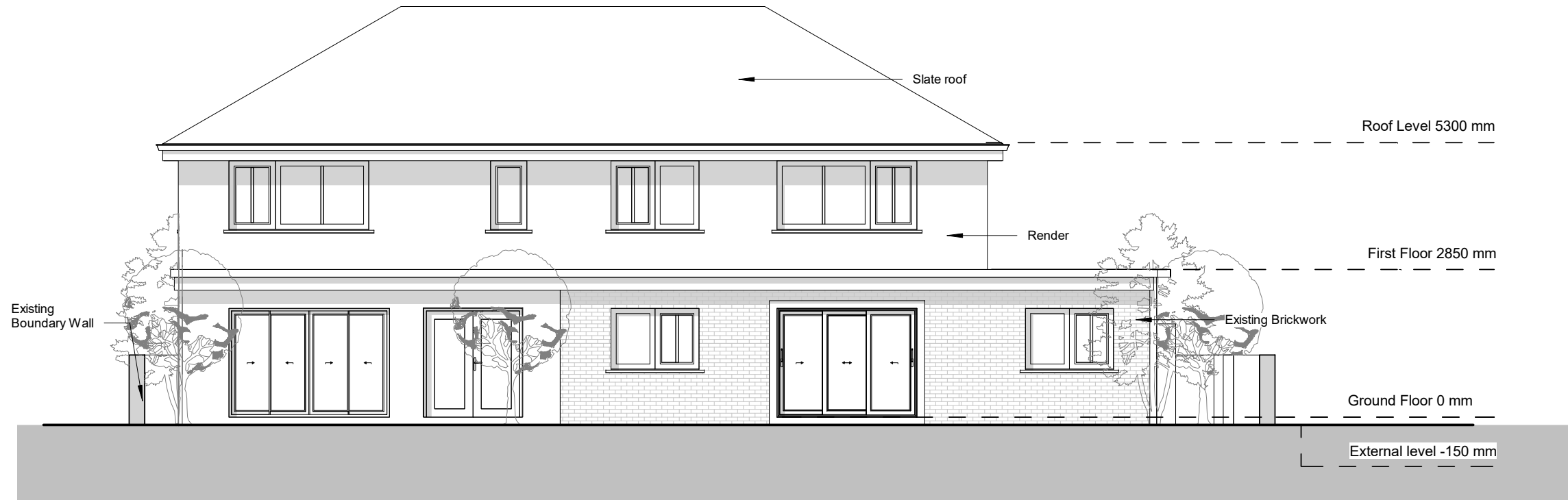
Proposed Front Elevation



Proposed North Elevation

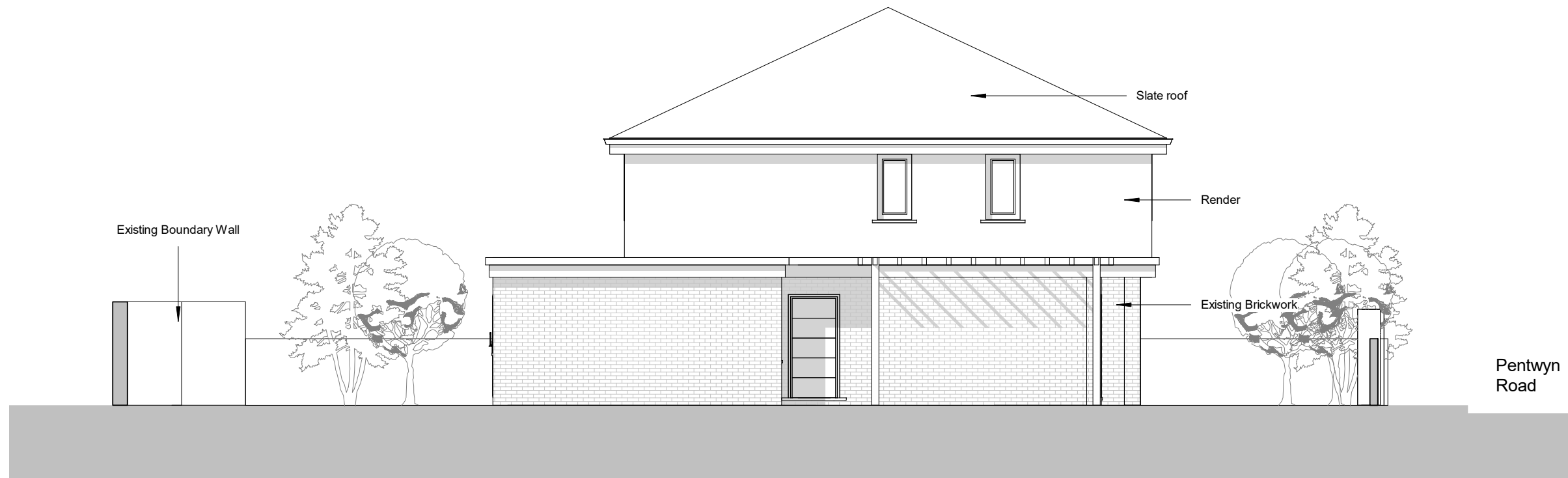
43, Pentwyn Road Radyr, Cardiff	
Proposed Elevations 1	
Project number	22001
Date	June 2022
Drawn by	PD
A007	
Scale	1 : 100

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Note:
 Ground floor walls are existings

Proposed Rear Elevation



Proposed South Elevation

43, Pentwyn Road Radyr, Cardiff	
Proposed Elevations 2	
Project number	22001
Date	June 2022
Drawn by	PD
A008	
Scale	1 : 100 @A3

**PLANNING COMMITTEE:****OCTOBER 6, 2022**

**REPORT OF: DIRECTOR - PLANNING, TRANSPORT &
ENVIRONMENT****Section 119 Highways Act 1980 Diversion of Whitchurch No.39
Footpath, Wenallt Farm, Rhiwbina**

1 Reason for the Report

The new landowner of Wenallt Farm, Mrs Jennie Jenkins, is renewing old fencing and creating new horse paddocks on her farm. There have been previous incidents of walkers coming into difficulty with horses in the paddocks while using the Public Footpaths. Mrs Jenkins is proposing to divert the footpath to create smaller paddocks and provide a segregated route for walkers. She has also agreed to replace stiles with pedestrian gates to improve access along the Footpaths.

Overall, the diversion will provide a safer and more accessible route for walkers and improve the management of the horses and working farm elements.

2 Background

Wenallt Farm is a working livery yard with a mix of small horse paddocks and larger grazing fields. The farm has recently been bought by Mrs Jenkins who is now making improvements to create smaller horse paddocks and renewing fencing. The farm is situated near the Wenallt being a popular site for walkers and horse riding and provides a strategic link across to the Thornhill area and community along the northern side of the M4.

There have been previous incidents of walkers encountering some of the horses and finding it difficult to use the footpath safely at certain pinch points.

The Rights of Way Officer, Jennifer Griffiths, and maintenance officers have met with Mrs Jenkins on site to agree the proposed diversion route. Works proposed on the site

will comprise of new post and rail fencing to be installed, upgrading the footpath surface where there are boggy ground conditions and replacing stiles with pedestrian gates to improve accessibility for walkers.

3 Issues

The diversion is considered necessary by the rights of way team to provide a safe route for walkers crossing the farm and reducing interaction between walkers and horses. The application is subject to public consultation and may be objected to therefore the landowner is aware this may cause delays in being able to undertake certain aspects of the work on the site. The original footpath alignment must stay open and in situ until the legal order is confirmed.

4 Local Member Consultation

Consultees included:

- Utility Companies (Virgin, BT Openreach, Welsh Water, Western Power & Wales and West)
- Statutory Users Groups (Ramblers, Auto Cycle Union, British Horse Society, Byways and Bridleways Trust, Open Spaces Society, Cycling UK, Welsh Trail Riders Association)
- Ward Members – Cllr Jane Cowan; Cllr Adrian Robson; Cllr Oliver Owen
- Adjacent Landowners: Welsh Government, Roads Administration, Cathays Park

Outcomes/Comments:

Ramblers confirm they will not raise any objections to the proposal.

Welsh Water have objected as they have apparatus crossing the farm. They have undertaken a site visit with the landowner and surveyed the location of their apparatus on 17th August 2022. Welsh Water have confirmed a wayleave agreement is required with Mrs Jenkins. This is currently being processed by Welsh Water and they do not wish to withdraw their objection until the wayleave agreement is complete. There are no current timescales of when this agreement should be expected to be completed by.

Public Rights of Way Team are willing to proceed with the application process as Welsh Water will have an opportunity to formally object if the wayleave agreement has not been completed during the Legal Order public consultation period.

5 Legal Implications

The Council has a discretionary power to divert footpaths, bridleways or restricted byways pursuant to Section 119 of the Highways Act 1980 ("1980 Act").

In considering whether a path or way should be diverted the Council must be satisfied that the criteria of the 1980 Act has been met. They must consider whether it is expedient to do so in the interests of the owner, lessee or occupier of land crossed by the path or the public, only where the:

- Diverted route would not be substantially less convenient to the public.
- Diversion would not alter any point of termination of the path, other than to another point on the same highway or a connected highway.

The authority must also consider any material provisions of the rights of way improvement plan (section 119(6A), HA 1980).

In assessing whether the diverted path will not be substantially less convenient to the public, the authority will consider a number of factors, including:

- Physical features
- Directness. The new route should not unreasonably lengthen the path.
- Landscape character.
- Features of interest. The new route should not move the path away from significant features of interest.
- Financial. The new route should not result in any increased maintenance costs.
- Safety. The new route should not subject users to any potential dangers or hazards.
- Needs of all users. The new route should include features to improve access for the mobility impaired user; (for example, gates rather than stiles and ramps, rather than steps).

Before determining to make a public path diversion order on the representations of an owner, lessee or occupier of land crossed by the path or way, the Council may require the person who made the application or representations to enter into an agreement with them. The agreement will be to defray, or to make such contribution as may be specified in the agreement towards any compensation which may become payable under section 28 of the 1980 Act or any expenses which they may incur in bringing the new site of the path or way into fit condition for use for the public.

The procedure for making and confirming a public path order is set out in Schedule 6 of the Highways Act 1980. This involves the Council giving various notices in the prescribed form stating the general effect of the order. If no representations or objections are duly made, or if any so made are withdrawn, the Council may confirm the order (but without any modification). Where any representation or objection which has been duly made is not withdrawn the matter is referred to the Planning & Environment Decisions Wales (PEDW) who are an executive agency that reports to the Welsh

Government. Before confirming the order PEDW may cause a local public inquiry to be held; or they may give any person by whom any representation or objection has been made an opportunity of being heard by a person appointed by them. After considering the report of the person appointed to hold the inquiry or hearing, PEDW on behalf of the Welsh Government may confirm the order, with or without modifications. An order made under section 119A of the Highways Act 1980 is not effective until it is confirmed. PEDW shall not confirm a public path diversion order, and the Council shall not confirm an order as an unopposed order, unless they are satisfied that the diversion is expedient for the reasons mentioned above. Further, that the path or way will not be substantially less convenient to the public in consequence of the diversion and that it is expedient to confirm the order having regard to the effect which—

- a) the diversion would have on public enjoyment of the path or way as a whole,
- b) the coming into operation of the order would have as respects other land served by the existing public right of way, and
- c) any new public right of way created by the order would have as respects the land over which the right is so created and any land held with it.

The Council is entitled to recover its costs as provided by the Local Authorities (Recovery for Costs for Public Path Orders) Regulations 1993.

Equality Act

In considering this matter the decision maker must have regard to the Council's duties under the Equality Act 2010. Pursuant to these legal duties Councils must, in making decisions, have due regard for the need to:

- 1) eliminate unlawful discrimination
- 2) advance equality of opportunity
- 3) foster good relations on the basis of protected characteristics

Protected characteristics are: (a) Age (b) Gender reassignment (c) Sex (d) Race – including ethnic or national origin, colour or nationality (e) Disability (f) Pregnancy and maternity (g) Marriage and civil partnership (h) Sexual orientation (i) Religion or belief – including lack of belief.

Other Considerations

Consideration should be given as to whether an equalities impact assessment (EQIA) is required, (including an updated assessment if there has been a time lapse since the assessment was carried out), to ensure that the Council has understood the potential impacts of the proposed decision in terms of its public sector equality duty. The decision maker should consider any EQIA. The proposal must also be subject to any relevant health and safety assessment.

Section 17 of the Crime and Disorder Act 1998 also imposes a general duty on the Council, when exercising its functions, to take account of community safety dimension, with a view to reduce local crime and disorder in its area.

Before exercising its functions under the 1984 Act, the Council must have regard to its duties under The Active Travel (Wales) Act 2013, the Welsh Language (Wales) Measure 2011.

Well Being of Future Generations (Wales) Act 2015

The decision maker should also have regard, when making its decision, to the Council's wider obligations under The Well-Being of Future Generations (Wales) Act 2015 ('the Act').

The Act places a 'well-being duty' on public bodies aimed at achieving 7 national well-being goals for Wales - a Wales that is prosperous, resilient, healthier, more equal, has cohesive communities, a vibrant culture and thriving Welsh language, and is globally responsible.

In discharging its duties under the Act, the Council has set and published well being objectives designed to maximise its contribution to achieving the national well being goals. The well being objectives are set out in Cardiff's Corporate Plan 2021-24: <http://cmsprd.cardiff.gov.uk/ENG/Your-Council/Strategies-plans-and-policies/Corporate-Plan/Documents/Corporate%20Plan%202021-24.pdf> When exercising its functions, the Council is required to take all reasonable steps to meet its well being objectives. This means that the decision makers should consider how the proposed decision will contribute towards meeting the well being objectives and must be satisfied that all reasonable steps have been taken to meet those objectives.

The well being duty also requires the Council to act in accordance with a 'sustainable development principle'. This principle requires the Council to act in a way which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs. Put simply, this means that Council decision makers must take account of the impact of their decisions on people living their lives in Wales in the future. In doing so, the Council must:

- Look to the long term
- Focus on prevention by understanding the root causes of problems
- Deliver an integrated approach to achieving the 7 national well-being goals
- Work in collaboration with others to find shared sustainable solutions
- Involve people from all sections of the community in the decisions which affect them.

The decision maker must be satisfied that the proposed decision accords with the principles above; and due regard must be given to the Statutory Guidance issued by the Welsh Ministers, which is accessible using the link below: <http://gov.wales/topics/people-and-communities/people/future-generations-act/statutory-guidance/?lang=en>

6 Financial Implications

The landowner has agreed to pay the legal order costs of the application process, and legal fees.

7 Recommendations

The recommendation is for Planning Committee to approve the application to proceed to Legal Services to make the Legal Order.

Gary Brown

OPERATIONAL MANAGER, TRANSPORT, PLANNING & ENVIRONMENT

Appendices:

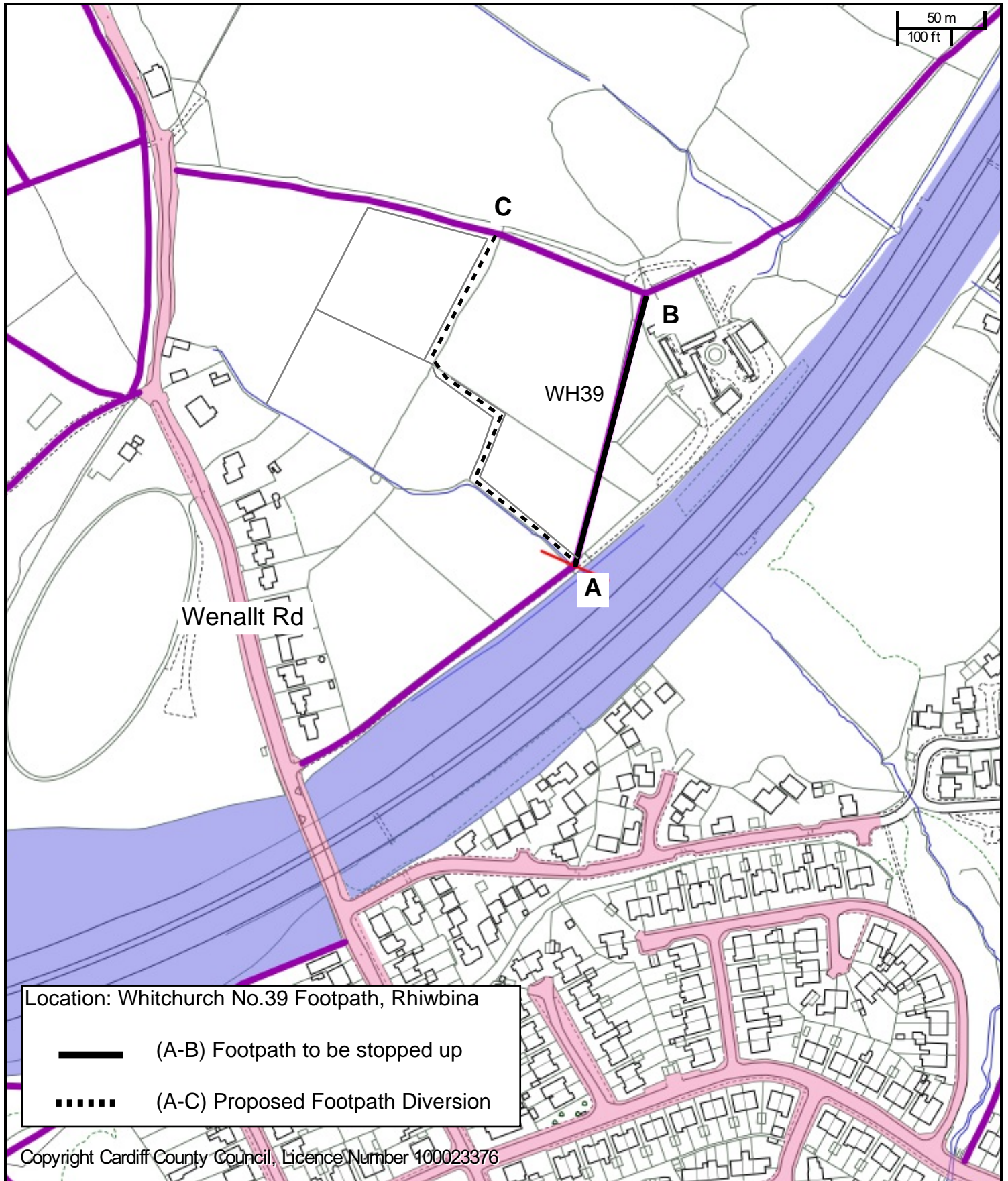
Appendix 1_Location Map of Proposed Diversion

Appendix 2_Welsh Water Utilities Map

Background Papers:

Completed S119 Application

Report Ref 104654 Officer Decision Report and Approval



CHIEF EXECUTIVE

Neuadd y Sir, Glanfa'r Iwerydd
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Tel: 029 20872088

County Hall, Atlantic Wharf
CARDIFF CF10 4UW
Tel: 029 20872087

Cyngor Caerdydd

Cardiff Council



Wenallt Footpaths

Scale: 1:3000

Date: 23/6/2022 at 15:25 PM

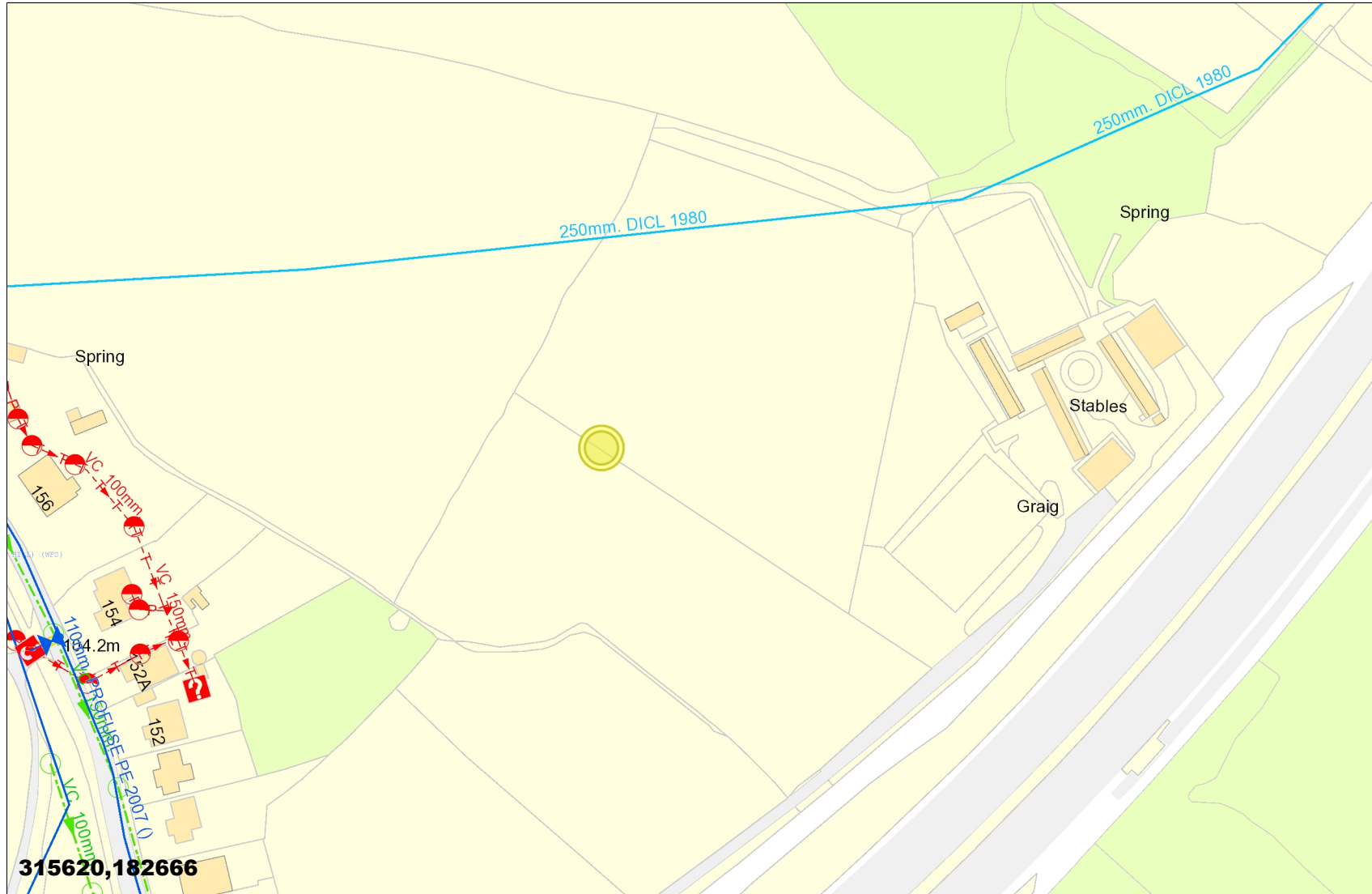
Coordinates:

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






LEGEND

Clean Water

-  Sluice Val
-  Air Val, SINGLE
-  Tap
-  Pressure Reducing Valve
-  Meter
-  BULK Meter
-  FH
-  Cap
-  Existing Main
-  NON COMPANY

Sewerage External

-  Foul
-  Surface Water
-  Combined
-  Rising Main
-  Private
-  Treatment Works
-  Pumping Station
-  Special Purpose
-  Unknown End
-  Change, Combined Overflow
-  Outfall, FOUL
-  Lamp Hole, Foul
-  Private Sewer Transfer
-  Lateral Drain
-  Inspection Chamber

315620,182666

Dwr Cymru Cyfyngedig ('the Company') gives this information as to the position of its underground apparatus by way of general guidance only and on the strict understanding that it is based on the best information available and no warranty as to its correctness is relied upon in the event of excavations or other works made in the vicinity of the company's apparatus. The onus of locating apparatus before carrying out any excavations rests entirely on you. The information which is supplied by the Company, is done so in accordance with statutory requirements of sections 198 and 199 of the Water Industry Act 1991 which is based upon the best Information available and, in particular, but without prejudice to the generality of the foregoing, it should be noted that the records that are available to the Company may not disclose the existence of a water main, service pipe, sewer, lateral drain or disposal main and any associated apparatus laid before 1 September 1989, or, if they do, the particulars thereof including their position underground may not be accurate. It must be understood that the furnishing of this information is entirely without prejudice to the provision of the New Roads and Street Works Act 1991 and the Company's right to be compensated for any damage to its apparatus.

EXACT LOCATION OF ALL APPARATUS TO BE DETERMINED ON SITE

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Whilst every reasonable effort has been taken to correctly record the pipe material of DCWW assets, there is a possibility that in some cases pipe material (other than Asbestos Cement or Pitch Fibre) may be found to be Asbestos Cement (AC) or Pitch Fibre (PF). It is therefore advisable that the possible presence of AC or PF pipes be anticipated and considered as part of any risk assessment prior to excavation

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**PLANNING COMMITTEE:****6 OCTOBER 2022**

**REPORT OF: DIRECTOR - PLANNING, TRANSPORT &
ENVIRONMENT****Section 119a Railway Path Diversion of Radyr No.1 Footpath at Gelynis
Farm, Morganstown**

Reason for the Report

Transport for Wales have planning consent (Planning Ref 21/00235/MJR) to remove the existing level crossing as part of the Metro Railway Modernisation project which is being undertaken throughout the Core Valley Lines (CVL). A new vehicle and pedestrian access bridge is being constructed which will provide a new route for the Public Footpath to be diverted onto. This is necessary as the existing level crossing will no longer be safe for the public to use due to the increased number of trains.

1 BackgroundLocation and Description of the Existing Public Footpath and Usage

1.1 The Public Footpath starts between properties Primrose Cottage and Y Wern from Main Road, Morganstown. There are a series of steps leading down to the private access road. The footpath continues along the private access road to the level crossing and Gelynis Farm and adjacent farm. The Footpath continues over a footbridge crossing the River Taff and terminates at Ironbridge Road linking to the Taff Trail route.

This Footpath is well used by visitors to the area and local community by walkers and informally on bicycle as a leisure route. The Footpath also provides private vehicle access rights to the farm and adjacent landowner.

There is an informal footpath which connect through to the playing fields and Pugh's Garden Centre at the bottom of the steps which is also a popular area for various leisure activities.

The public footpath is regarded as an important link to the Taff Trail on the other side of the river, and as a result is in constant use during the day.

1.2 Proposed Diversion of Footpath

- The existing Footpath section to be proposed for stopping up is approximately 235m.
- The new bridge being created is approximately 335m.
- The average width in excess of 5m, plus 2m verges, except where the road width is reduced across the bridge deck to 4.1m with a hard verge of 1.5m at a higher level to the carriageway.
- There is an elevated pedestrian section over the bridge span to provide a safe route for pedestrians.
- The new bridge will be maintained under the property ownership of Transport for Wales and the respective maintenance responsibilities will fall on the owner.

1.3 Health & Safety Risk

- (a) From a Network Rail census report taken in 2016, the following numbers were reported to have used the crossing.

	Weekday	Weekend
Pedestrians	164	387
Cyclists	51	66

- (b) Currently the footpath crossing relies upon warning signs, self-closing gates, fully combined rubberised/tarmac modernised rail surface and good sighting distances of approaching trains from a safe decision point at both sides of the crossing.
- (c) As part of the new Metro railway project, which includes improved operational efficiencies, lower maintenance requirements and full modernised upgrades to the Cardiff Valley Network these modern developments will include new rolling stock, more trains per hour, and faster journey times. For these improvements to take place

all safety risks associated with the railway infrastructure must be taken into consideration, as supported, and instructed by the office of Rail and Road, who is the TfW's rail regulator.

- (d) The current number of trains along this section of line is 12 trains per hour and based on the current railway timetable amounts to 192 trains per operational day. This equates to 1 train every 5 minutes.
- (e) Taking into effect the new proposed railway infrastructure and timetable, with new electrified rolling stock operating along this route this number will increase to 24 trains per hour, which amounts to 384 trains per day. This equates to 1 train every 2.5 mins.

1.4 Increased Health & Safety Risk

- (a) In line with Health & Safety requirements and railway safety standards this proposed increase in the number of trains operating along this section of line enforces the requirement to undertake new risk assessments on all crossings within the CVL. Under the risk model used (Network Rail ALCRM), quantifies these additional risks in two ways, (i) individual risk and (ii) collective risk. The former is a measure of the risk that an individual crossing user is exposed to when traversing the railway, and the latter is a measure of the total harm or safety loss at the crossing.
- (b) The collective risk recognises that with the increased number of trains per day operating over the crossing equates to a greater probability there will be to an accident occurring. This statistic, as a result of the new train service, will increase the potential risk of public safety at this crossing significantly over and above the current risk score.
- (c) In addition, this crossing has been assessed, from previous incident reports, misuse and near misses, as the highest risk crossing on the CVL, based on existing operational information, i.e., not taking into consideration the additional frequency of trains, and the quieter modern electrified rolling stock improvements.
- (d) Crossing closures of this high-risk nature is consistent with the Office of Road and Rail (ORR), regulatory requirements for railway operators who need to maximise the reduction in risks of accidents at all level crossings.
- (e) Accordingly, in line with the Welsh Government's policy of modernising the railway the rail safety risk at this crossing will be greater than reasonably permitted, and closure is the only available option.

- (f) The effect of the loss of the crossing on users, whether there are alternative rights of way and the safety of these relative to the existing rail crossing. The opportunity for taking alternative action to remedy the problem such as a diversion, bridge, or tunnel, or the carrying out of safety improvements to the existing crossing
- (g) The loss of the existing footpath crossing has already been fully assessed, and as a result of the high safety risk which already exists, coupled with the fact that this risk will be increased the only option considered right for all aspects to reduce totally any risk to the railway is to build a road overbridge. This has received full planning consent following significant design options, and as a result this rail crossing diversion order application can now progress.

2 Issues

2.1 Concerns have been raised from the consultation that the new footbridge is too steep of a gradient and therefore will no longer be accessible for all users. Public Rights of Way Team are satisfied this has been considered through the Planning Application process with consent given by Transportation Operational Manager.

2.2 Below is an insert from the Planning Application Section 5 Internal Consultee Responses which addresses the concerns/issues raised by consultee:.

5.1 The Operational Manager, Transportation, makes the following comments on the application:

(iii) The new section of road (inc. bridge) will have an end to end length of approximately 370m with an average width in excess of 5m, plus 2m verges, except where the road width is reduced across the bridge deck to 4.1m with a hard verge of 1.5m at a higher level to the carriageway. The submission advises that this arrangement (elevated pedestrian section over the bridge span) has been provided for the safety of pedestrian while on the structure itself. The width and general layout of the replacement road is comparable with or slightly more generous than the current arrangement, albeit the point to point distance of the new route is longer and involves negotiating the bridge ramps (discussed below).

(iv) In addition to any other means of enclosure, vehicle restraint barriers of circa 900mm in height would be installed along the elevated sections of the proposed access road where it sits on top of the earth embankment ramps, along with which solid reinforced concrete containment parapets (walls) of approx. 2.2m in height would be installed along either side of the bridge where it crosses the rail line.

(v) The existing Footpath No.1 Radyr that is to be diverted along the new road and over bridge will leave its existing route shortly after crossing the River Taff in the east and re-join

it again just before the end of the Gelynis Farm fields on the west. The existing route to be diverted measures some 235m in length and will be replaced by a route of some 335m, amounting to an addition 100m walking distance. To put this increased distance in context, as an example the walk from the Church on Chapel Road in Morganstown to the Village Hall in Tongwynlais is 1.3km or 1300m, the increased walking distance of 100m therefore amounts to an additional 7.5% of the overall distance; and as the overall distance increases the additional length becomes less of a factor. This 100m increase in the point to point distance is therefore considered to be insignificant in relation to the distance of any likely actual journey and in light of the often recreational nature of the use.

(vi) The bridge will be accessed via earth embankment ramps and the design gradient of these has been the subject of some concern/objection. In which respect, to achieve the required headroom above the rail lines within the space available the ramps are proposed to be 1:12 or 8% and will not include landings as they need to cater for vehicles as well as pedestrians. The applicant acknowledges that the gradients of the road are steeper than recommended by the guidance for inclusive mobility. However in considering the matter it must be noted that mobility and active travel guidance confirms that 1:12/8% is the maximum recommended gradient (para 4.7.11, see below), although 1:20/5% is preferable. He is advised these gradient values are common across access guidance, albeit when considering a pedestrian only ramp they would generally expect intermediate landings (level areas) to be included. Welsh Government's Active Travel Design Guidance document (December 2014) extract: 4.7.11 As a general rule, a gradient of 5% (1 in 20) should be regarded as a desirable maximum in most situations and 8% (1 in 12) should be used as the absolute maximum. However, it is recognised that there will be locations where steeper gradients cannot reasonably be avoided. In these situations local authorities will need to explain the justification for proposing steeper gradients, as per the requirements of Section 3(6) of the Active Travel Act.

(vii) When considering gradients it must also be noted that Footpath No.1 Radyr meets Ty Nant Road via a set of steep stone steps and the bridge ramp gradients are shallower than those in the western part of the private farm access road, which are approximately 1:10/10%. As such he agrees with the applicant that the slopes of the proposed new bridge crossing are unlikely to deter users, given the topography of retained sections of the route to the west. He is therefore content that the proposed bridge ramp gradients, while at the upper end of the guidance limits, are acceptable for the reasons given.

(viii) The diversion of the existing footpath will be subject to separate application to the Council under Section 257 of the Town and Country Planning Act 1990, following determination of this planning application. While, in a strict sense, the determination of the

footpath diversion applications falls outside the scope of this planning application, it is nonetheless noted that the principle (of the diversion) is intrinsic to the planning application and brings with it safety benefits to the public, who will no longer be required to negotiate a level crossing and associated gates. Therefore, without prejudice to consideration of any formal application, he would confirm that he currently has no objection in principle to the proposed diversion of the footpath.

2.3 If there are objections during the public consultation period if the Legal Order is made, the case will be referred to Planning Environment Decisions Wales (PEDW). PEDW will review the case and comments and determine whether or not the Local Authority is to confirm the order.

3 Local Member Consultation

3.1 Consultees included:

- Utility Companies (Virgin, BT Openreach, Welsh Water, Western Power & Wales and West)
- Statutory Users Groups (Ramblers, Auto Cycle Union, British Horse Society, Byways and Bridleways Trust, Open Spaces Society, Cycling UK, Welsh Trail Riders Association)
- Ward Members – Cllr Calum Davies & Cllr Helen Lloyd-Jones
- Radyr Morganstown Community Council

3.2 Outcomes/Comments:

- Objections from Ward Members Cllr Calum Davies and Cllr Helen Lloyd-Jones
- Objections from Radyr Morganstown Community Council

3.3 Cllr Davies and Cllr Lloyd-Jones Comments

- We understand the reasons for wishing to have the diversion. However the design of the bridge is such that we believe it will be difficult for people with disability issues and for parents with children in pushchairs to use the bridge.

- We believe that there should be a lift system to take the pedestrian across the railway line, as there is at Radyr Station.
- We welcome having an extra footpath using the bridge but we do not want to lose the existing public right of way albeit that it does go across the railway line.
- We have both been made aware that there is considerable demand from Morganstown to have a halt on the Metro system. We are also aware that a halt at the location of Gelynis Farm would be easy for the people living in Tongwynlais to access.
- To future proof the site, we want to see the current public right of way retained, especially if alternatives do not support the access for those with disabilities as required by law. We want the bridge to be another public right of way. We know that cyclists use the existing right of way, so we would like the bridge to have bridleway status.

In summary:-

- We do not believe the best option is to have a diversion to Footpath 1
- We believe the best option is to upgrade Footpath 1 to a Public Bridleway.
- We believe the route across the bridge should be a Public Bridleway too.
- We believe there should be a lift system installed to take people across the railway line. (This will enable disabled people to reach the Iron Bridge and the Taff Trail.)

3.4 RMCC Comments

- Although we opposed it, we understand that the bridge will be built, given that Transport for Wales has received planning permission to allow for its construction
- We agree that if the bridge is to be built, then the existing footpath has to be diverted, since the increased frequency of trains traveling along the railway line will make the existing level crossing too dangerous to use
- However, the limited space available for the bridge means that the gradient of the road crossing will be too steep to allow safe and reasonably easy access for any pedestrians or cyclists with mobility issues. It would, in fact, be steeper than prescribed in current regulations. This would include disabled people, some elderly people, family groups (with young children) cycling across the bridge - and more

- We think that it is unacceptable to replace the flat public right of way, used by a large number of walkers and cyclist, with what many will find to be a barrier to active travel
- As such, we think that Transport for Wales should be required to provide alternative access for those unable to use the bridge. This could include installing lift access - similar to the lifts provided at Radyr Station. This will ensure that this popular public right of way remains accessible to all
- We also believe that it should be ensured that the bridge is safe for pedestrians to use, when they cross it alongside cars, vans, lorries and agricultural vehicles.
- We are keen to discuss this with members of the Planning Committee.

4 Legal Implications

The following advice has been sought on the proposal

The Council has the power to make orders to divert footpaths under section 119A of the Highways Act 1980 ("1980 Act"). In considering whether a path should be diverted the Council must be satisfied that the criteria of the 1980 Act has been met. They must consider whether it is expedient to do so in the interests of public safety, having regard to all of the circumstances.

Particular consideration needs to be given to:

- whether it is reasonably practicable to make the crossing safe for public use
- the arrangements for ensuring, if the order is confirmed, that the appropriate signs and barriers are put in place
- Whether the created path is reasonably convenient to the public
- The effect the proposal will have on the land served by the existing path
- The effect on the land over which the new path is to be created
- The effect on the rights of way network as a whole
- The safety of the diversion – in particular where it passes along or across a vehicular highway.

The order may require the rail operator to maintain all or part of the path created by the order. The Council may also require the rail operator to enter into an agreement to defray part or all of any compensation that may be payable together with any expenses reasonably incurred in connection with the erection and maintenance of barriers and signs or in making up the new path.

The rail operator must ensure that suitable fencing is erected and appropriate signs provided to the public that the path has been diverted.

The procedure for making and confirming a public path order is set out in Schedule 6 of the Highways Act 1980. This involves the Council giving various notices in the prescribed form stating the general effect of the order. If no representations or objections are duly made, or if any so made are withdrawn, the Council may confirm the order (but without any modification). Where any representation or objection which has been duly made is not withdrawn the matter is referred to Planning & Environment Decisions Wales (PEDW) who are an executive agency that reports to the Welsh Government. Before confirming the order PEDW may cause a local public inquiry to be held; or they may give any person by whom any representation or objection has been made an opportunity of being heard by a person appointed by them. After considering the report of the person appointed to hold the inquiry or hearing, PEDW on behalf of the Welsh Government may confirm the order, with or without modifications. An order made under section 119A of the Highways Act 1980 is not effective until it is confirmed.

The Council is entitled to recover its costs as provided by the Local Authorities (Recovery for Costs for Public Path Orders) Regulations 1993.

Equality Act

In considering this matter the decision maker must have regard to the Council's duties under the Equality Act 2010. Pursuant to these legal duties Councils must, in making decisions, have due regard for the need to:

- (1) eliminate unlawful discrimination
- (2) advance equality of opportunity
- (3) foster good relations on the basis of protected characteristics

Protected characteristics are: (a) Age (b) Gender reassignment (c) Sex (d) Race – including ethnic or national origin, colour or nationality (e) Disability (f) Pregnancy and maternity (g) Marriage and civil partnership (h) Sexual orientation (i) Religion or belief – including lack of belief.

Other Considerations

- Consideration should be given as to whether an equalities impact assessment (EQIA) is required, (including an updated assessment if there has been a time lapse since the assessment was carried out), to ensure that the Council has understood the potential impacts of the proposed decision in terms of its public sector equality duty. The decision maker should consider any EQIA. The proposal must also be subject to any relevant health and safety assessment.
- Section 17 of the Crime and Disorder Act 1998 also imposes a general duty on the Council, when exercising its functions, to take account of community safety dimension, with a view to reduce local crime and disorder in its area.
- Before exercising its functions under the 1984 Act, the Council must have regard to its duties under The Active Travel (Wales) Act 2013, the Welsh Language (Wales) Measure 2011.

Well Being of Future Generations (Wales) Act 2015

The decision maker should also have regard, when making its decision, to the Council's wider obligations under The Well-Being of Future Generations (Wales) Act 2015 ('the Act').

The Act places a 'well-being duty' on public bodies aimed at achieving 7 national well-being goals for Wales - a Wales that is prosperous, resilient, healthier, more equal, has cohesive communities, a vibrant culture and thriving Welsh language, and is globally responsible.

In discharging its duties under the Act, the Council has set and published well being objectives designed to maximise its contribution to achieving the national well being goals. The well being objectives are set out in Cardiff's Corporate Plan 2021-24: <http://cmsprd.cardiff.gov.uk/ENG/Your-Council/Strategies-plans-and-policies/Corporate-Plan/Documents/Corporate%20Plan%202021-24.pdf> When exercising its functions, the Council is required to take all reasonable steps to meet its well being objectives.

This means that the decision makers should consider how the proposed decision will contribute towards meeting the well being objectives and must be satisfied that all reasonable steps have been taken to meet those objectives.

The well being duty also requires the Council to act in accordance with a 'sustainable development principle'. This principle requires the Council to act in a way which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs. Put simply, this means that Council decision makers must take account of the impact of their decisions on people living their lives in Wales in the future. In doing so, the Council must:

- Look to the long term
- Focus on prevention by understanding the root causes of problems
- Deliver an integrated approach to achieving the 7 national well-being goals
- Work in collaboration with others to find shared sustainable solutions
- Involve people from all sections of the community in the decisions which affect them.

The decision maker must be satisfied that the proposed decision accords with the principles above; and due regard must be given to the Statutory Guidance issued by the Welsh Ministers, which is accessible using the link below: <http://gov.wales/topics/people-and-communities/people/future-generations-act/statutory-guidance/?lang=en>

Financial Implications

The applicant has agreed and paid the S.119a application fee which includes Highways and Legal Services resources.

Recommendations

The recommendation is for Planning Committee to approve the application for Legal Services to make the Legal Order.

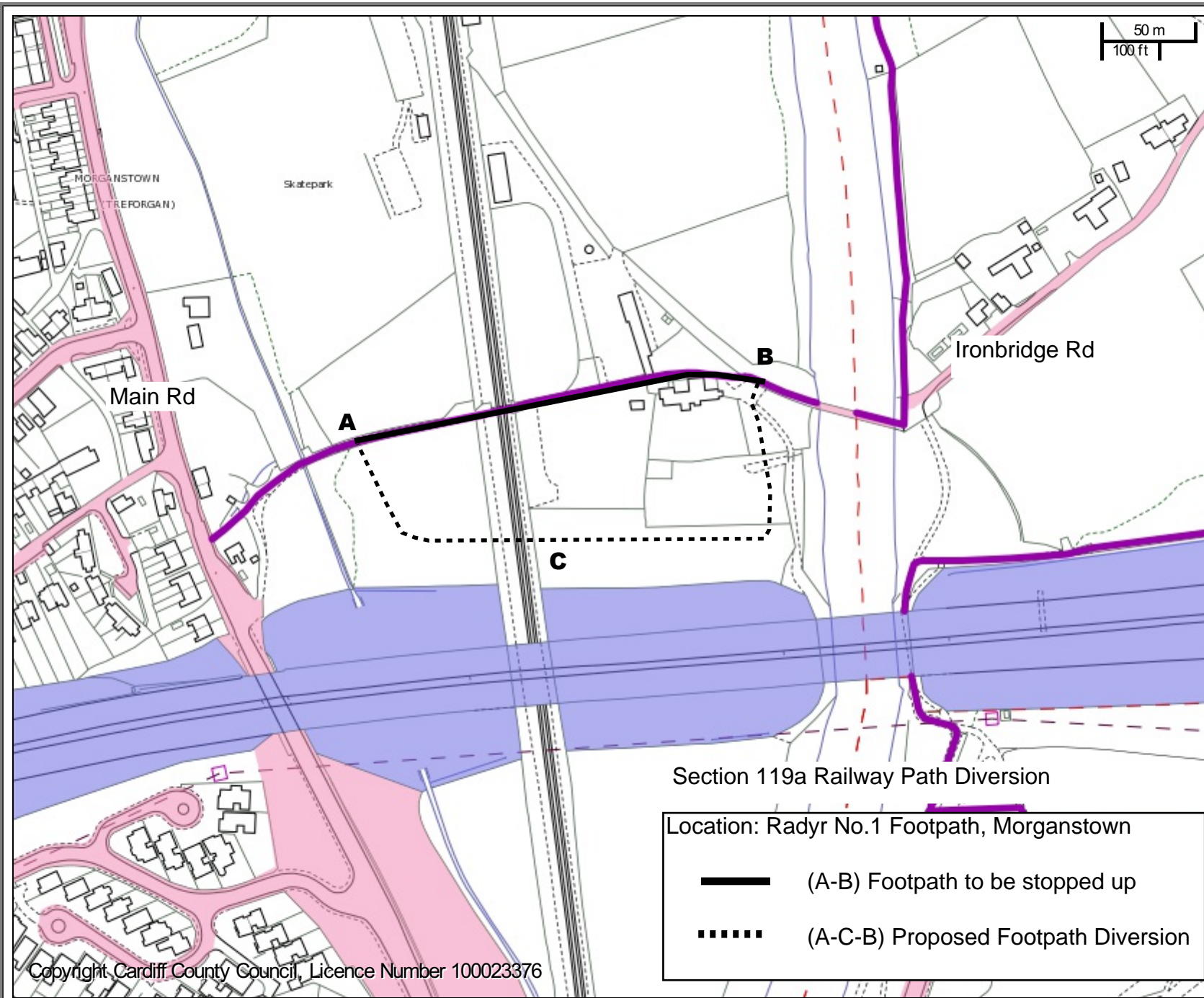
Matt Wakelam**ASSISTANT DIRECTOR, TRANSPORT, PLANNING & ENVIRONMENT****Appendices:**

- Appendix 1 Map of Proposed Diversion
- Appendix 2 Completed S119a Application (Redacted)

Background Papers:

- 21/00235/MJR Full Planning Permission Document

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Cyngor Caerdydd
Cardiff Council



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Radyr No.1 Diversion
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CARDIFF COUNCIL


REQUEST FOR A RAIL CROSSING DIVERSION ORDER HIGHWAYS ACT 1980 TRANSPORT AND WORKS ACT 1992

The following questions are to be answered and the information and maps requested to be supplied by the applicant to the council which is to be requested to make the order.

1	Location of rail crossing Morganstown, - Gelynis, Private vehicular and public footpath crossing.
2	Is the diversion applied for within the area of a Community Council? If yes, please provide name of Community Council. Morganstown Community Council.
3	(a) Type: Footpath and (b) Name or No. FP - Radyr No 1.
	(b) Length(s) in metres of section(s) to be stopped up Approx 235m
	(c) Description of path to be stopped up by reference to terminal points (Grid References at start and end points) As per attached Diversion plan; X 126848.2 – X 126619.5 Y 180185.3 – Y 180148.1
	(d) Length(s) in metres of section(s) to be created Approx 335m

This form is available in Welsh / Mae'r ffurflen hon ar gael yn Gymraeg

Issue 1	Date 10/2021	Process Owner: Public Rights of Way Team	Authorisation: Public Rights of Way Team	Page 1 of 4
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	(e)	<p>Description of new improved path by reference of new terminal points (Grid References at start and end points of new sections)</p> <p>As per attached Diversion plan; X 126848.2 – X 126619.5 Y 180185.3 – Y 180148.1</p>
4		<p>List the name(s) and address(es) of the owners, lessees, and occupiers of the land on either side of any path or way to be extinguished.</p> <p>Transport for Wales; 3 Llys Cadwyn, Pontypridd, Rhondda Cynon Taff, CF37 4TH</p> <p></p> <p>Llantrisant Road Capel Llanithern Cardiff, CF5 6JD</p>
5		<p>Have you obtained the written consent of every person having an interest in the land over which any path or way to be extinguished passes, in so far as such consent is needed?</p> <p>YES</p> <p>If YES, enclose all the written consents. Please see attached email. If NO, enclose all written consents that you now possess, and give particulars of those where consent has been refused or has yet to be obtained.</p>
6		<p>Is the crossing or any path or way to be extinguished, subject to any limitations or conditions?</p> <p>NO</p> <p>If YES, give details.</p>

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Issue 1	Date 10/2021	Process Owner: Public Rights of Way Team	Authorisation: Public Rights of Way Team	Page 2 of 4
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7	<p>Who will be responsible for maintaining the new path or way created? If in part, state which sections will be maintained and by whom with an attached plan for reference.</p> <p>The new path and road bridge will be under the property ownership of Transport for Wales, and the respective maintenance responsibilities will fall on the owner.</p>
8	<p>Names of Public Utilities in area (please state whether or not their apparatus is likely to be affected)</p> <p>NOTE: If any utilities will be affected, please include agreements/consents. Utilities are a statutory consultee and will object to all applications affecting their apparatus therefore it is paramount you provide information to confirm what agreements are in place to undertake works.</p>
(a)	Gas Board – No
(b)	Electricity Board – Prior notification has been made and consent provided. Contact details to follow;
(c)	Water Board – No water authorities utilities affected. Existing vehicular rights of way to be incorporated onto the new road over bridge.
(d)	Telephone Area – None affected.
9	<p>When do you anticipate works affecting the highway(s) on site will begin? It should be noted that the minimum period which should be allowed for confirming a S.119A Legal Order is 8 months if there are no public objections.</p> <p>No works envisaged to obstruct existing right of way.</p> <p>Licenses must be applied for in order to carry out works: Temporary Closures, Opening Up Licenses and Section 50 (not inclusive therefore go to Roads and highways licences - Cardiff.gov.uk for more information).</p>

This form is available in Welsh / Mae'r ffurflen hon ar gael yn Gymraeg

Issue 1	Date 10/2021	Process Owner: Public Rights of Way Team	Authorisation: Public Rights of Way Team	Page 3 of 4
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10	<p>Provide two plans showing the stopped up and/or diverted path at the following scales:</p> <p><input type="checkbox"/> 1:2500 and <input type="checkbox"/> 1:1250 scale.</p> <p>The path to be stopped up or diverted should be shown as a bold black line with the letter FP or BR denoting footpath or bridleway respectively written alongside and include the Legal Path Name and Number. Diverted routes are to be shown as a bold black dashed line.</p>									
11	<p>Give reasons for the proposed rail crossing diversion order. This may be provided as a letter with supporting documents. Include information about:</p> <p>As part of the Metro Railway Modernisation project, which is currently being undertaken throughout the Core Valley Lines (CVL), from Cardiff through the connecting valleys from Pontypridd, Treherbert, Aberdare, Merthyr and Rhymney, there are considerable rail infrastructure engineering and operational enhancements being planned and delivered by Transport for Wales.</p> <p>All will have an immediate benefit to the public, and travelling passengers through the placement of new electrified rolling stock, more frequent train service, improved and new stations, and faster journey times.</p> <p>This is part of the TfW's transport integration plan to improve public transport connectivity, accessibility and in parallel to boost economic development, environmental improvements and business re generation across the region.</p> <p>In addition there are major scheme proposals to install Overhead Electric Wires (OLE), along this specific section of railway line, which will significantly increase the associated safety concerns which is inherent to such operational requirements. The new electrified trains will be faster, quieter, and huge improvements to their acceleration which will create additional risks to the level crossing over and above the current requirements.</p> <p>The current crossing provides both vehicular and pedestrian access for the public, and also private vehicular requirements to adjoining land owners. The public footpath crossing is regarded as an important link to the Taff Trail on the other side of the river, and as a result is in constant use during the day.</p> <p>From a Network Rail census report taken in 2016, the following numbers were reported to have used the crossing.</p> <table border="1" data-bbox="309 1603 1219 1738"> <thead> <tr> <th></th> <th>Weekday</th> <th>Weekend</th> </tr> </thead> <tbody> <tr> <td>Pedestrians</td> <td>164</td> <td>387</td> </tr> <tr> <td>Cyclists</td> <td>51</td> <td>66</td> </tr> </tbody> </table> <p>These figures were taken over a 3 day (24 hour), period Saturday – Monday</p>		Weekday	Weekend	Pedestrians	164	387	Cyclists	51	66
	Weekday	Weekend								
Pedestrians	164	387								
Cyclists	51	66								

- a) The risk to the public continuing to use the present crossing and the circumstances that have given rise to the need to make the proposed order

Currently the footpath crossing relies upon warning signs, self closing gates, fully combined rubberised/tarmac modernised rail surface and good sighting distances of approaching trains from a safe decision point at both sides of the crossing.

As part of the new Metro railway project, which includes improved operational efficiencies, lower maintenance requirements and full modernised upgrades to the Cardiff Valley Network these modern developments will include new rolling stock, more trains per hour, and faster journey times. In order for these improvements to take place all safety risks associated with the railway infrastructure have to be taken into consideration, as supported and instructed by the office of Rail and Road, who is the TfW's rail regulator.

The current number of trains along this section of line is 12 trains per hour, and based on the current railway timetable amounts to 192 trains per operational day. This equates to 1 train every 5 minutes.

Taking into effect the new proposed railway infrastructure and timetable, with new electrified rolling stock operating along this route this number will increase to 24 trains per hour, which amounts to 384 trains per day. This equates to 1 train every 2.5 mins.

In line with Health & Safety requirements and railway safety standards this proposed increase in the number of trains operating along this section of line enforces the requirement to undertake new risk assessments on all crossings within the CVL. Under the risk model used (Network Rail ALCRM), quantifies these additional risks in two ways, (i) individual risk and (ii) collective risk. The former is a measure of the risk that an individual crossing user is exposed to when traversing the railway, and the latter is a measure of the total harm or safety loss at the crossing.

The collective risk recognises that with the increased number of trains per day operating over the crossing equates to a greater probability there will be to an accident occurring. This statistic, as a result of the new train service, will increase the potential risk of public safety at this crossing significantly over and above the current risk score.

In addition this crossing has been assessed, from previous incident reports, misuse and near misses, **as the highest risk crossing on the CVL**, based on existing operational information, ie not taking into consideration the additional frequency of

This form is available in Welsh / Mae'r ffurflen hon ar gael yn Gymraeg

Issue 1	Date 10/2021	Process Owner: Public Rights of Way Team	Authorisation: Public Rights of Way Team	Page 5 of 4
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trains, and the quieter modern electrified rolling stock improvements.

Crossing closures of this high risk nature is consistent with the Office of Road and Rail (ORR), regulatory requirements for railway operators who need to maximise the reduction in risks of accidents at all level crossings.

Accordingly, in line with the Welsh Government's policy of modernising the railway the rail safety risk at this crossing will be greater than reasonably permitted, and closure is the only available option.

- b) The effect of the loss of the crossing on users, whether there are alternative rights of way and the safety of these relative to the existing rail crossing. The opportunity for taking alternative action to remedy the problem such as a diversion, bridge, or tunnel, or the carrying out of safety improvements to the existing crossing

The loss of the existing footpath crossing has already been fully assessed, and as a result of the high safety risk which already exists, coupled with the fact that this risk will be increased the only option considered right for all aspects to reduce totally any risk to the railway is to build a road overbridge. This has received full planning consent following significant design options, and as a result this rail crossing diversion order application can now progress.

- c) Confirm if barriers and / or signs would need to be erected at the crossing or the point from which any path or way is to be extinguished or created, assuming the order is confirmed.

Yes, the overall finished design of the diversionary route will incorporate all required fencing/barriers as required, and appropriate signage installed as required by Cardiff City Council and Transport for Wales.

- d) confirm if the diversion is equal or improved for accessibility and an equally commodious route compared to the existing crossing.

The new rail over bridge has been designed in accordance with current highway designs appropriate for private roads, and public rights of way, which allows a free, unlimited access availability over the railway at all times. Please see attached plan showing the general arrangements and layout of the new bridge, with access availability and gradients. Planning consent report provided express comments on this aspect and it was recorded that the gradients was noted by the Officer, and accepted they would not deter access use, and approval was granted accepting the design of the new bridge. Please refer to S5 Internal Consultees Report ss (vii), (viii), in particular for reference of his comments.

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Issue 1	Date 10/2021	Process Owner: Public Rights of Way Team	Authorisation: Public Rights of Way Team	Page 6 of 4
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If form is completed by Landowner, please fill in below:

(a) Name

(b) Address

If form is completed by Agent, please fill in below:

(a) Name of Agent – Richard Cole

(b) Profession – Rail Consultant

(c) Address – c/o Transport for Wales, 3, Llys Cadwyn, Pontypridd, CF37 4TH

(d) Landowner Name and Address – [REDACTED] Llantrisant Road, Capel Llanithern, Cardiff, CF5 6JD.

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Issue 1

Date 10/2021

Process Owner:
Public Rights of Way Team

Authorisation:
Public Rights of Way Team

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DECLARATION

I /We agree to comply with the following conditions in respect of this application, if it formally is approved:

1. **To pay the Council the sum of £5,000** to cover the Council's reasonable costs for making the order and advertising the legal notices in a local newspaper. (Please note that advertisement costs alone are currently in the region of £1800 for the two notices required, i.e. Notice of Making and Notice of Confirmation).

2. To ensure that the remainder of the path, and any other rights of way over land in the same ownership, are not obstructed in any way.

I/We understand that no authority for the conversion of the footpath as a cycle track is conferred unless and until a Cycle Track Conversion Order has been applied for, sealed and confirmed, and a Notice to that effect has been published. Any preliminary obstruction of, or interference with the existing path may not only be an offence but may make it impossible to proceed with the making of the Order.

I/We declare that all the particulars given are to the best of my/our knowledge true and accurate.

Name: Richard Cole

Signature: [REDACTED]

Date: 13/04/22

This application will be processed once payment of £5,000 (VAT exempt) is received. Please confirm details for billing:

Name: [REDACTED]

Company Name: Transport for Wales

Address: , 3, Llys Cadwyn, Pontypridd, CF37 4TH

Email: [REDACTED]

*Note: Fees are in respect of an order to convert **one** path or an omnibus order if consented. The appropriate officer can give further advice.

This form is available in Welsh / Mae'r ffurflen hon ar gael yn Gymraeg				
Issue 1	Date 10/2021	Process Owner: Public Rights of Way Team	Authorisation: Public Rights of Way Team	Page 8 of 4

**PLANNING COMMITTEE:****OCTOBER 6, 2022**

**REPORT OF: DIRECTOR - PLANNING, TRANSPORT &
ENVIRONMENT****Section 116 Highways Act 1980 Stopping Up of Highway
on Wood Street, Cardiff**

1 Reason for the Report

The Central Square Development received planning consent and a slither of land has been incorporated within the new building structure. The slither of land is considered no longer necessary for public use as it has been built upon and therefore requires stopping up.

2 Background

Central Square development received planning consent to redevelop the old bus station off Wood Street. There is a small slither of land of adopted highway which has been incorporated into the new building and no longer accessible to the public. The area now requires a retrospective stopping up to update the highway legal record to reflect what is on the ground.

All section 116 applications require a notice of proposal advertised on site and in the local paper for 28 days to be determined at Magistrate Court.

3 Issues

The stopping up is necessary as the adopted highway has been built upon and obstructed. The Section 116 application however is subject to public consultation and may be objected to. If there are objections during the Notice of Proposal public consultation stage, then a decision would be referred to by Planning Environment Decisions Wales (PEDW).

4 Local Member Consultation

- Utility Companies (Virgin, BT Openreach, Welsh Water, Western Power & Wales and West)
- Statutory Users Groups (Ramblers, Auto Cycle Union, British Horse Society, Byways and Bridleways Trust, Open Spaces Society, Cycling UK, Welsh Trail Riders Association)
- Ward Members: Councillor Ali Ahmed; Councillor Norma Mackie; Councillor Sarah Merry; Councillor Chris Weaver

No comments received from Ward Members or User Groups.

Objections were received from Western Power Distribution and Welsh Water due to the proximity of their apparatus to the stopping up location.

Western Power and Welsh Water have both withdrawn their objections now they are satisfied their apparatus is still accessible in the retained adopted highway sections.

5 Legal Implications

Section 116 of the Highways Act 1980 allows an application to be made by a highway authority to a magistrates' court for an order to stop-up or divert any highway other than a trunk road or special road. Under the provisions of this section a magistrates' court may make an order to stop up a highway or divert it if it is:

- a. Unnecessary or
- b. can be diverted so as to make it nearer or more commodious to the public

This procedure can only be initiated by the Highway Authority although under s.117 anyone can apply to the highway authority for it to make application on their behalf to the magistrates' court.

As held in caselaw, magistrates need to bear in mind that the way has to be unnecessary for the public; the convenience of the landowner is not a relevant factor. Notice has to be given to the relevant Community Council if the stopping up application is for an unclassified road, bridleway or footpath. If such Council does not give their consent within the two month Notice period, then the application cannot proceed.

Notice also has to be given to owners and occupiers of adjoining lands and to Statutory Undertakers by means of letters and an advert in the London Gazette and one local newspaper. Notices must be displayed prominently on site, at either end of the highway to be stopped up and should embody a plan.

Any person on whom the Notice is required to be served and any person who uses the highway and any person who would be aggrieved by the making of the order has a right

to object to the application and be heard at the hearing in the Magistrates' Court. There is a right of appeal to the Crown Court against the making of the Order. The Magistrates' Court will not make an order unless it is satisfied that the applicant authority has given the Notices as required by the legislation and the requirements set out above are met.

Equality Act

In considering this matter the decision maker must have regard to the Council's duties under the Equality Act 2010. Pursuant to these legal duties Councils must, in making decisions, have due regard for the need to:

- (1) eliminate unlawful discrimination
- (2) advance equality of opportunity
- (3) foster good relations on the basis of protected characteristics

Protected characteristics are: (a) Age (b) Gender reassignment (c) Sex (d) Race – including ethnic or national origin, colour or nationality (e) Disability (f) Pregnancy and maternity (g) Marriage and civil partnership (h) Sexual orientation (i) Religion or belief – including lack of belief.

Other Considerations

Consideration should be given as to whether an equalities impact assessment (EQIA) is required, (including an updated assessment if there has been a time lapse since the assessment was carried out), to ensure that the Council has understood the potential impacts of the proposed decision in terms of its public sector equality duty. The decision maker should consider any EQIA. The proposal must also be subject to any relevant health and safety assessment.

Section 17 of the Crime and Disorder Act 1998 also imposes a general duty on the Council, when exercising its functions, to take account of community safety dimension, with a view to reduce local crime and disorder in its area.

Before exercising its functions under the 1984 Act, the Council must have regard to its duties under The Active Travel (Wales) Act 2013, the Welsh Language (Wales) Measure 2011.

Well Being of Future Generations (Wales) Act 2015

The decision maker should also have regard, when making its decision, to the Council's wider obligations under The Well-Being of Future Generations (Wales) Act 2015 ('the Act').

The Act places a 'well-being duty' on public bodies aimed at achieving 7 national well-being goals for Wales - a Wales that is prosperous, resilient, healthier, more equal, has cohesive communities, a vibrant culture and thriving Welsh language, and is globally responsible.

In discharging its duties under the Act, the Council has set and published well being objectives designed to maximise its contribution to achieving the national well being goals. The well being objectives are set out in Cardiff's Corporate Plan 2021-24: <http://cmsprd.cardiff.gov.uk/ENG/Your-Council/Strategies-plans-and-policies/Corporate-Plan/Documents/Corporate%20Plan%202021-24.pdf> When exercising its functions, the Council is required to take all reasonable steps to meet its well being objectives. This means that the decision makers should consider how the proposed decision will contribute towards meeting the well being objectives and must be satisfied that all reasonable steps have been taken to meet those objectives.

The well being duty also requires the Council to act in accordance with a 'sustainable development principle'. This principle requires the Council to act in a way which seeks to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs. Put simply, this means that Council decision makers must take account of the impact of their decisions on people living their lives in Wales in the future. In doing so, the Council must:

- Look to the long term
- Focus on prevention by understanding the root causes of problems
- Deliver an integrated approach to achieving the 7 national well-being goals
- Work in collaboration with others to find shared sustainable solutions
- Involve people from all sections of the community in the decisions which affect them.

The decision maker must be satisfied that the proposed decision accords with the principles above; and due regard must be given to the Statutory Guidance issued by the Welsh Ministers, which is accessible using the link below: <http://gov.wales/topics/people-and-communities/people/future-generations-act/statutory-guidance/?lang=en>

6 Financial Implications

The applicant has agreed to pay the application fees which includes Highways and Legal Services resources.

7 Recommendations

The recommendation is for Planning Committee to approve the application for Legal Services to make the Legal Order and book Magistrate Court appearance.

Gary Brown
HEAD OF HIGHWAY INFRASTRUCTURE AND OPERATIONS IN
TRANSPORT, PLANNING & ENVIRONMENT

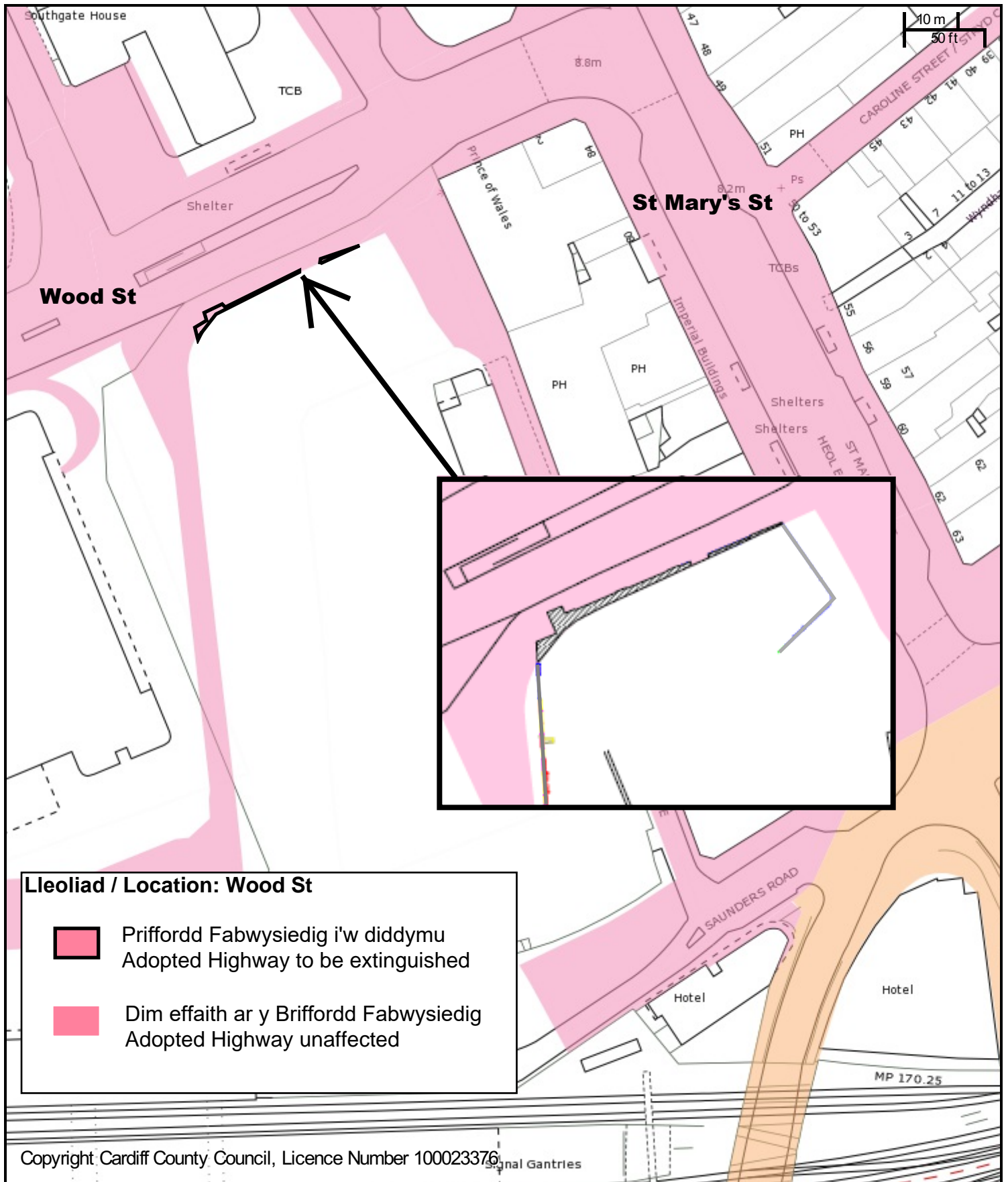
Appendices:

- Appendix 1 Location Map of Stopping Up Wood Street
- Appendix 2 Location Photos

Background Papers:

- Section 116 Completed Application Form
- Report Ref 104667_Officer Decision Report and Approval

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Lleoliad / Location: Wood St

- Prifffordd Fabwysiedig i'w diddymu
Adopted Highway to be extinguished
- Dim effaith ar y Brifffordd Fabwysiedig
Adopted Highway unaffected

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CHIEF EXECUTIVE

Neuadd y Sir, Glanfa'r Iwerydd
CAERDYDD CF10 4UW
Tel: 029 20872088

County Hall, Atlantic Wharf
CARDIFF CF10 4UW
Tel: 029 20872087

Cyngor Caerdydd

Cardiff Council



Wood Street S116

Scale: 1:1000

Date: 19/8/2022 at 10:12 AM

Coordinates:

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Ordnance Survey 100023376 (2014).

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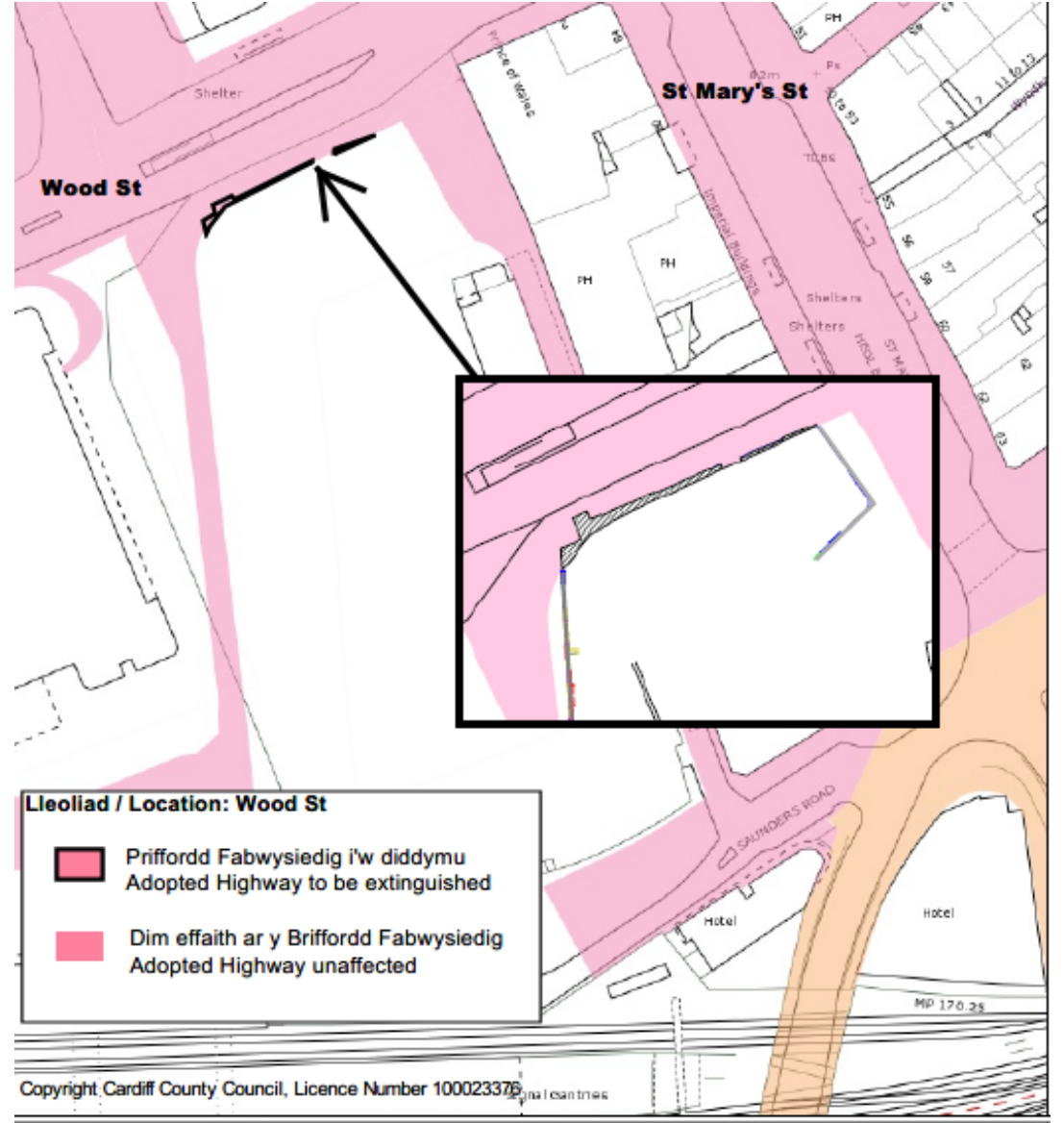


Photo Taken about one year ago



Photo Taken with timelapse camera Sept 9, 2022



Cardiff Council : Strategic Planning And Environment : Development Control

Applications Decided between 29/08/2022 and 29/09/2022

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
ADAMSDOWN								
22/00858/MNR	09/05/2022	Ghuman	FUL	REAR OF 22 STACEY ROAD, ADAMSDOWN, CARDIFF, CF24 1DU	CONSTRUCTION OF GARAGE/STORE	16/09/2022	Permission be granted	Minor - Dwellings (C3)
22/01307/MNR	28/06/2022	Salem	FUL	8 THEODORA STREET, ADAMSDOWN, CARDIFF, CF24 1PD	CHANGE OF USE FROM SINGLE DWELLING HOUSE TO A C4 HOUSE IN MULTIPLE OCCUPATION WITH REAR DORMER ROOF EXTENSION, INSERTION OF ROOF LIGHTS TO THE FRONT ROOF PLANE AND ASSOCIATED INTERNAL ALTERATIONS.	20/09/2022	Permission be granted	Minor - Dwellings (C3)
22/00309/MNR	01/03/2022	Bolt	FUL	30 ORBIT STREET, ADAMSDOWN, CARDIFF, CF24 0JX	CHANGE OF USE FROM DWELLINGHOUSE TO 5 BEDROOM HOUSE IN MULTIPLE OCCUPATION	22/09/2022	Permission be granted	Minor - Dwellings (C3)
BUTETOWN								
PRAP/22/00042/MNR	27/07/2022	Cornerstone	PRAP	LAND OFF SCHOONER WAY ADJACENT TO FORDD GARTHORNE, ATLANTIC WHARF	INSTALLATION OF A 25-METRE MONOPOLE, ACCOMMODATING 12NO. ANTENNAS, RRU'S, AND DISHES, THE INSTALLATION OF 6NO. GROUND-BASED EQUIPMENT CABINETS, ALONG WITH ANCILLARY WORKS	21/09/2022	No Prior Approval required	Other Consent Types
A/22/00065/MNR	26/08/2022	Cardiff Office Limited	ADV	1 CALLAGHAN SQUARE, BUTETOWN, CARDIFF, CF10 5BT	BUILDING AND ENTRANCE IDENTIFICATION SIGNS	20/09/2022	Permission be granted	Advertisements

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
22/00682/MNR	07/04/2022	Ty Krishna Cymru	DOC	EMLYN HOUSE, 4 DOCK CHAMBERS, BUTE STREET, BUTETOWN, CARDIFF, CF10 5AG	DISCHARGE OF CONDITION 12 (CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN - CEMP) OF 19/03053/MNR	23/09/2022	Full Discharge of Condition	Discharge of Conditions
22/01365/MJR	27/06/2022	Rightacres Property Company Limited	DOC	CENTRAL QUAY PHASE 1, CRAWSHAY STREET, CARDIFF	DISCHARGE OF CONDITIONS 6 (HYDRAULIC MODELLING ASSESSMENT) AND 14 (CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN 2) OF 19/03171/MJR	23/09/2022	Full Discharge of Condition	Discharge of Conditions
22/01712/MJR	17/08/2022	St Line House Ltd	DOC	ST LINE HOUSE, 60 MOUNT STUART SQUARE, BUTETOWN, CARDIFF, CF10 5FL	DISCHARGE OF CONDITION 3 (WINDOW SCHEDULE) OF LBC/21/00032/MNR	23/09/2022	Full Discharge of Condition	Discharge of Conditions
22/01768/MJR	22/08/2022	United Living Group	DOC	ANCHOR INDUSTRIAL ESTATE, DUMBALLS ROAD, BUTETOWN, CARDIFF, CF10 5FF	DISCHARGE OF CONDITION 11 (MATERIALS) OF 21/02462/MJR	23/09/2022	Full Discharge of Condition	Discharge of Conditions
22/01629/MJR	03/08/2022	IM Properties PLC	DOC	PLOT J, CAPITAL QUARTER, TYNDALL STREET, ATLANTIC WHARF	DISCHARGE OF CONDITION 8 (LANDSCAPING SCHEME) OF 18/02634/MJR	29/09/2022	Full Discharge of Condition	Discharge of Conditions
22/00430/DCH	03/03/2022	Richards	HSE	18 WINDSOR ESPLANADE, CARDIFF BAY, CARDIFF, CF11 5BG	SINGLE STOREY REAR EXTENSION, ROOFLIGHTS AND ASSOCIATED ALTERATIONS	31/08/2022	Permission be granted	Householder
LBC/22/00016/DC25	25/02/2022	Richards	LBC	18 WINDSOR ESPLANADE, CARDIFF BAY, CARDIFF, CF11 5BG	SINGLE STOREY REAR EXTENSION, ROOFLIGHTS AND ASSOCIATED ALTERATIONS	31/08/2022	Permission be granted	Listed Buildings

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
22/01468/MNR	15/07/2022	Makers Guild in Wales	FUL	CRAFT IN THE BAY, LLOYD GEORGE AVENUE, ATLANTIC WHARF, CARDIFF, CF10 4QH	REPLACEMENT OF SOLID EXTERNAL DOORS ON THE EAST ELEVATION OF THE CRAFT IN THE BAY BUILDING WITH FULLY GLAZED ALUMINIUM DOORS AND INTERNAL ALTERATIONS TO MODERN EXTENSION	02/09/2022	Permission be granted	Other Consent Types
LBC/22/00043/MNR	15/07/2022	Makers Guild in Wales	LBC	CRAFT IN THE BAY, LLOYD GEORGE AVENUE, ATLANTIC WHARF, CARDIFF, CF10 4QH	REPLACEMENT OF SOLID EXTERNAL DOORS ON THE EAST ELEVATION OF THE CRAFT IN THE BAY BUILDING WITH FULLY GLAZED ALUMINIUM DOORS AND INTERNAL ALTERATIONS TO MODERN EXTENSION	02/09/2022	Permission be granted	Listed Buildings
A/22/00059/MNR	02/08/2022	Co-op	ADV	CO-OP, DUMBALLS ROAD, BUTETOWN, CARDIFF, CF10 5FE	NEW SIGNAGE	02/09/2022	Permission be granted	Advertisements
22/01545/MNR	19/07/2022	One Stop Stores Limited	FUL	GROUND FLOOR COMMERCIAL UNIT, EAST BUTE HOUSE THE WHARF, SCHOONER WAY, ATLANTIC WHARF, CARDIFF, CF10 4EU	THE INSTALLATION OF PLANT WITHIN THE PLANT RECESS ALCOVES OF THE FRONT ELEVATION	05/09/2022	Permission be granted	Other Consent Types
22/01700/MJR	12/08/2022	Urban Centric (Cardiff) Ltd	DOC	CRAWSHAY COURT, 6 CURRAN ROAD, BUTETOWN, CARDIFF, CF10 5TG	DISCHARGE OF CONDITION 10 (SAMPLES OF EXTERNAL FINISHES) OF 19/01930/MJR	13/09/2022	Full Discharge of Condition	Discharge of Conditions
CAERAU								
22/01029/MNR	18/07/2022	Mason	FUL	PART OF LAND AT 12 CYNWELL AVENUE, CAERAU, CARDIFF, CF5 5QN	CONSTRUCTION OF NEW DWELLING	26/09/2022	Planning Permission be refused	Minor - Dwellings (C3)

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
22/01038/MNR	17/05/2022	Aldi Stores Limited	VAR	ALDI FOODSTORE LTD, TRESADER WAY, CAERAU, CARDIFF, CF5 5NU	VARIATION OF CONDITION 3 OF 16/00298/MNR TO ALLOW EXTENDED DELIVERY HOURS ON SUNDAYS	21/09/2022	Planning Permission be refused	Renewals and Variation of Conditions
22/00889/DCH	03/05/2022	Woodman	HSE	36 ARLES ROAD, CAERAU, CARDIFF, CF5 5AP	DOUBLE STOREY SIDE EXTENSION AND SINGLE STOREY REAR EXTENSION	17/09/2022	Permission be granted	Householder
22/01169/DCH	07/06/2022	ORASHID	VAR	11 HEOL EGLWYS, CAERAU, CARDIFF, CF5 5NY	VARIATION OF CONDITION 2 OF 19/02077/DCH TO ALTER APPROVED PLANS	20/09/2022	Permission be granted	Renewals and Variation of Conditions
CANTON								
22/00946/DCH	13/05/2022	Botham	HSE	10 GREENFIELD AVENUE, CANTON, CARDIFF, CF11 9P	DOUBLE STOREY REAR EXTENSION AND SINGLE STOREY SIDE EXTENSION WITH INTERNAL ALTERATIONS INCLUDE LOFT CONVERSION	20/09/2022	Permission be granted	Householder
22/00621/DCH	06/06/2022	Hooper-Nash	HSE	159 PENCISELY ROAD, CANTON, CARDIFF, CF5 1DN	REAR SINGLE STOREY AND PART 2 STOREY EXTENSION	20/09/2022	Permission be granted	Householder
22/01560/DCH	28/07/2022	Vaid	HSE	8 VICTORIA AVENUE, CANTON, CARDIFF, CF5 1ET	STANDALONE GARDEN ROOM OFF FRONT OF GARAGE TO REAR	28/09/2022	Planning Permission be refused	Householder
A/22/00062/MNR	05/08/2022	Starbucks Coffee Company	ADV	UNIT 1 THE POD 2, CAPITAL RETAIL PARK, LECKWITH ROAD, CANTON, CARDIFF, CF11 8EG	NEW SIGNAGE	14/09/2022	Permission be granted	Advertisements
22/01736/MJR	16/08/2022	Investment Construction Ltd	DOC	CANTON FAMILY CENTRE SUFFOLK HOUSE, ROMILLY ROAD, CANTON	DISCHARGE OF CONDITION 17 (LIGHTING) OF 18/01064/MJR	09/09/2022	Full Discharge of Condition	Discharge of Conditions

<u>Application No.</u>	<u>Date</u>	<u>Applicant</u>	<u>Type</u>	<u>Address</u>	<u>Proposal</u>	<u>Decision Date:</u>	<u>Decision:</u>	<u>Statutory Class</u>
21/02861/MJR	15/12/2021	United Welsh Housing Association (under Harmoni Homes Limited brand)	FUL	FORMER LIONITE MELE LTD, SANATORIUM ROAD, CANTON, CARDIFF, CF11 8PN	DEMOLITION OF THE EXISTING BUILDINGS AND ERECTION OF A NEW AFFORDABLE RESIDENTIAL DEVELOPMENT COMPRISING APARTMENTS AND TOWN HOUSES, CAR PARKING, NEW ACCESS, LANDSCAPING, DRAINAGE INFRASTRUCTURE AND ASSOCIATED DEVELOPMENT	12/09/2022	Permission be granted	Major - Dwellings (C3)
22/00269/DCH	22/02/2022	Higginson	HSE	34 LANSDOWNE AVENUE WEST, CANTON, CARDIFF, CF11 8FS	HIP TO GABLE ROOF EXTENSION WITH DORMER ROOF EXTENSIONS TO FRONT AND REAR	12/09/2022	Planning Permission be refused	Householder
22/00854/MNR	04/07/2022	Tanners of Cardiff	FUL	TANNER ELECTRICS, WHITTLE ROAD, LECKWITH, CARDIFF, CF11 8AT	ERECTION OF A SINGLE STOREY VEHICLE SHOWROOM TO THE EXISTING ELEVATION TOGETHER WITH THE OVER CLADDING OF THE EXISTING FACADE	06/09/2022	Permission be granted	Minor - Retail (A1-A3)
22/01696/DCH	12/08/2022	Phillips	NMH	23 PENCISELY CRESCENT, CANTON, CARDIFF, CF5 1DS	INCREASE THE SIZE OF THE PYRAMID TYPE ROOF WINDOW - PREVIOUSLY APPROVED UNDER 22/00352/DCH	02/09/2022	Permission be granted	Non Material Householder
22/01414/DCH	11/07/2022	Jones	HSE	2 AUBREY AVENUE, CANTON CARDIFF, CF5 1AQ	PROPOSED DOUBLE STOREY SIDE EXTENSION	02/09/2022	Permission be granted	Householder
A/22/00028/MNR	04/07/2022	Tanners of Cardiff	ADV	TANNER ELECTRICS, WHITTLE ROAD, LECKWITH, CARDIFF, CF11 8AT	NEW SIGNAGE	05/09/2022	Permission be granted	Advertisements

CATHAYS

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21/01693/MNR	08/07/2021	Telefonica UK Ltd (on behalf of Cornerstone)	FUL	COMMUNICATION STATION VODAFONE, 2 QUEEN STREET, CITY CENTRE, CARDIFF, CF10 2BU	THE INSTALLATION OF 3NO. NEW ANTENNAS, RRU'S, AND 1NO. DISH, THE RELOCATION OF THE EXISTING 9NO. ANTENNAS, RRU'S, AND 1NO. DISH, ONTO PROPOSED 2NO. 4.6M AND 4NO. 4.0M SUPPORT POLES LOCATED ON THE EXISTING ROOFTOP. THE INSTALLATION OF NEW EQUIPMENT WITHIN THE EXISTING EQUIPMENT CABINETS, ALONG WITH ANCILLARY WORKS	05/09/2022	Permission be granted	Other Consent Types
22/01287/MNR	01/07/2022	Tameside MBC-GMPF	VAR	36 ROYAL ARCADE, CITY CENTRE, CARDIFF, CF10 1AE2	VARIATION OF CONDITION 2 OF LBC/21/00002/MNR TO AMEND THE APPROVED PLANS AND REMOVAL OF CONDITION 5	02/09/2022	Permission be granted	Renewals and Variation of Conditions
22/01288/MNR	01/07/2022	Tameside MBC-GMPF	VAR	36 ROYAL ARCADE, CITY CENTRE, CARDIFF, CF10 1AE2	VARIATION OF CONDITION 2 OF 21/01518/MNR TO AMEND THE APPROVED PLANS AND REMOVAL OF CONDITION 5	02/09/2022	Permission be granted	Renewals and Variation of Conditions
22/01426/MNR	06/07/2022	Tameside MBC-GMPF	DOC	36 ROYAL ARCADE, CITY CENTRE, CARDIFF, CF10 1AE2	DISCHARGE OF CONDITION 4 (SHOP FRONT COLOUR SCHEME) OF 21/01518/MNR	30/08/2022	Full Discharge of Condition	Discharge of Conditions
22/01427/MNR	04/07/2022	Tameside MBC-GMPF	DOC	36 ROYAL ARCADE, CITY CENTRE, CARDIFF, CF10 1AE2	DISCHARGE OF CONDITION 4 (SHOP FRONT COLOUR SCHEME) OF LBC/21/00002/MNR	30/08/2022	Full Discharge of Condition	Discharge of Conditions

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22/01337/DCH	16/08/2022	AKBAR	CLD	4 RHYMNEY STREET, CATHAYS, CARDIFF, CF24 4DF	ERECTION OF REAR DORMER AND GROUND FLOOR REAR EXTENSION	31/08/2022	Permission be granted	Other Consent Types
22/00080/DCH	25/01/2022	Akbar	FUL	5 MISKIN STREET, CATHAYS, CARDIFF, CF24 4AP	CONSTRUCTION OF A SECOND FLOOR EXTENSION, RAISING THE ROOF STRUCTURE OF THE SECOND FLOOR, PART CONVERSION OF STORAGE OUTBUILDING FOR CYCLE STORAGE WITH REAR ACCESS TO BIN STORAGE.	01/09/2022	Permission be granted	Householder
22/00140/DCH	15/03/2022	MALIK	FUL	GROUND FLOOR REAR FLAT 4 LLANTRISANT STREET, CATHAYS, CARDIFF, CF24 4JB	RETENTION OF CONVERSION AND EXTENSION OF EXISTING STORE TO CREATE A HOME OFFICE	01/09/2022	Planning Permission be refused	Householder
22/00798/MNR	28/04/2022	Chowdhury	FUL	10 MUNDY PLACE, CATHAYS, CARDIFF, CF24 4BZ	FIRST FLOOR REAR EXTENSION AND REAR DORMER ROOF EXTENSION TO EXISTING HOUSE IN MULTIPLE OCCUPATION	01/09/2022	Planning Permission be refused	Householder
21/01572/MJR	24/06/2021	TE Cardiff 5 Ltd	FUL	121-123 QUEEN STREET AND 40 WINDSOR PLACE, CITY CENTRE, CARDIFF, CF10 2BJ	CONVERSION OF UPPER FLOORS AND TWO FLOOR EXTENSION TO PROVIDE RESIDENTIAL APARTMENTS, INCLUDING ANCILLARY WORKS TO BASEMENT, PROVISION OF ROOF TERRACE AND CREATION OF CYCLE AND BIN STORES WITHIN GROUND FLOOR YARD	12/09/2022	Permission be granted	Major - Dwellings (C3)
22/01487/MNR	12/07/2022	MAYA GENERAL TRADING LTD	VAR	22 BRUCE STREET, CATHAYS, CARDIFF, CF24 4QA	VARIATION OF CONDITION 2 OF 22/00400/MNR TO ALTER APPROVED PLANS	12/09/2022	Permission be granted	Renewals and Variation of Conditions

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22/01551/MNR	20/07/2022	Optical Express	FUL	OAKLEIGH HOUSE, 14-16 PARK PLACE, CATHAYS PARK, CARDIFF, CF10 3DQ	CHANGE OF USE OF THE GROUND FLOOR TO AN EYE CARE MEDICAL CLINIC AND PROVIDER OF LASER PROCEDURE/EYE SURGERY SERVICES	10/09/2022	Permission be granted	Minor - Other Principal Uses
22/01590/MJR	29/07/2022	Vita Student	DOC	BRADLEY COURT, 11 PARK PLACE, CATHAYS PARK, CARDIFF, CF10 3DR	DISCHARGE OF CONDITION 13 (IMPORTED SOILS) OF 18/02527/MJR	10/09/2022	Full Discharge of Condition	Discharge of Conditions
22/00082/MNR	25/01/2022	Akbar	FUL	3 MISKIN STREET, CATHAYS, CARDIFF, CF24 4AP	GROUND FLOOR REAR EXTENSION TO EXISTING NEIGHBOURHOOD GROCERY SHOP AND CONVERSION OF FIRST FLOOR EXTENSION OF EXISTING FLAT TO 2.NO SELF-CONTAINED FLATS AND INCREASING SECOND FLOOR ROOF LEVEL TO ALIGN WITH ADJACENT BUILDINGS ,CREATION OF SEPARATE ACCESS TO FRONT ELEVATION, PART CONVERSION OF STORAGE OUTBUILDING FOR CYCLE STORAGE, DEMOLISH LEAN-TO EXTENSION PROVIDING REAR ACCESS TO BIN AND CYCLE STORAGE	11/09/2022	Permission be granted	Minor - Dwellings (C3)
22/01290/MNR	16/06/2022	JD Wetherspoon	DOC	83-84 and THE PRINCE OF WALES, 82 ST MARY STREET CITY CENTRE, CARDIFF, CF10 1FA	DISCHARGE OF CONDITION 3 (SHOPFRONT DETAILS) OF 21/01252/MNR	15/09/2022	Full Discharge of Condition	Discharge of Conditions
22/01622/MNR	02/08/2022	Rekom UK Ltd	FUL	42-43 ST MARY STREET, CITY CENTRE, CARDIFF, CF10 1AD	EXTERIOR DECORATIONS AND IMPROVEMENTS	15/09/2022	Permission be granted	Other Consent Types

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A/22/00063/MNR	17/08/2022	Fraser Hart Ltd	ADV	30 ST DAVID'S DEWI SANT, GRAND ARCADE, CITY CENTRE, CARDIFF, CF10 2ER	REPLACEMENT OF THE EXISTING RETAILER BRAND SIGNAGE AND SIGNAGE FACIAS	15/09/2022	Permission be granted	Advertisements
22/01525/MNR	01/08/2022	Karlsson-Kemp Ltd	FUL	9 TOWN WALL SOUTH, CITY CENTRE, CARDIFF, CF10 2EW	NEW SHOPFRONT	14/09/2022	Permission be granted	Minor - Retail (A1-A3)
A/22/00056/MNR	01/08/2022	Karlsson-Kemp Ltd	ADV	5-9 TOWN WALL SOUTH, CITY CENTRE, CARDIFF, CF10 2EW	NEW SIGNS AND RE-ARRANGEMENT OF EXISTING SIGNAGE	14/09/2022	Permission be granted	Advertisements
22/01571/MNR	25/07/2022	Transworld Real Estate Limited	FUL	NICKEL YARD, BAKERS ROW, CITY CENTRE, CARDIFF, CF10 1AL	CHANGE OF USE FROM GARAGES AND FORECOURT TO 2NO. A1/A3 UNITS	14/09/2022	Permission be granted	Minor - Retail (A1-A3)
A/22/00066/MNR	30/08/2022	Next Retail Ltd	ADV	80-88 QUEEN STREET, CITY CENTRE, CARDIFF, CF10 2GR	NEW SIGNAGE	23/09/2022	Permission be granted	Advertisements
22/01709/MNR	12/08/2022	Wright	FUL	26-28 ST DAVIDS WAY, CITY CENTRE, CARDIFF, CF10 2DP	NEW SHOP FRONT TO SHOPPING CENTRE UNIT	23/09/2022	Permission be granted	Minor - Retail (A1-A3)
22/01195/DCH	14/06/2022	Winter	HSE	59 COBURN STREET, CATHAYS, CARDIFF, CF24 4BR	LOFT CONVERSION AND REAR FLAT ROOF DORMER AND WIDENING OF FIRST FLOOR EXTENSION - PREVIOUSLY APPROVED UNDER 17/01939/DCH	23/09/2022	Permission be granted	Householder
22/01501/MJR	18/07/2022	Rightacres Property Company Limited	DOC	SITE OF FORMER MARLAND HOUSE AND NCP CAR PARK, CENTRAL SQUARE, CARDIFF	DISCHARGE OF CONDITION 10 (ENTRANCE LAYOUT DETAILS) OF 19/02140/MJR	23/09/2022	Full Discharge of Condition	Discharge of Conditions

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22/01538/MJR	20/07/2022	Vita (Cardiff) 1 Ltd	DOC	BRADLEY COURT, 11 PARK PLACE, CATHAYS PARK, CARDIFF, CF10 3DR	RE-DISCHARGE OF CONDITION 25 (SOFT LANDSCAPING) OF 18/02527/MJR	23/09/2022	Full Discharge of Condition	Discharge of Conditions
22/01142/MNR	09/06/2022	AKHONDI	FUL	29 HIRWAIN STREET, CATHAYS, CARDIFF, CF24 4JG	GROUND & FIRST FLOOR REAR EXTENSIONS WITH REAR DORMER ROOF EXTENSION AND CHANGE OF USE TO A HOUSE IN MULTIPLE OCCUPATION (C4)	22/09/2022	Planning Permission be refused	Minor - Dwellings (C3)
A/22/00060/MNR	28/07/2022	Welsh Government	ADV	NATIONAL ASSEMBLY FOR WALES NEW CROWN BUILDING, COLLEGE ROAD, CATHAYS PARK, CARDIFF, CF10 3NQ	ERECTION OF 4 NO. FLAGPOLES AT GROUND LEVEL	22/09/2022	Permission be granted	Advertisements
LBC/22/00031/MNR	17/05/2022	Oowee V Ltd	LBC	11 ST JOHN STREET, CITY CENTRE, CARDIFF, CF10 1GL	INTERNAL ALTERATIONS AND EXTERNAL ALTERATIONS TO SHOPFRONT	20/09/2022	Permission be granted	Listed Buildings
22/00869/MNR	28/04/2022	Post-a-Puzzle Ltd	FUL	OLIVER HOUSE, 16-17 HIGH STREET, CITY CENTRE, CARDIFF, CF10 1AX	CHANGE OF USE FROM B1 (OFFICES) TO D2 (AIR-SOFT SHOOTING RANGE)	20/09/2022	Planning Permission be refused	Minor - Other Principal Uses
22/01516/MNR	15/07/2022	SHAH	VAR	7-9 MISKIN STREET, CATHAYS, CARDIFF, CF24 4AP	VARIATION OF CONDITION 2 OF 19/02379/MNR RELATING TO APPROVED PLANS TO ALLOW A GABLE END ADDED TO THE SOUTH WEST ELEVATION	16/09/2022	Permission be granted	Renewals and Variation of Conditions
22/01661/MNR	08/08/2022	Rare Restaurants	FUL	19 THE HAYES, CITY CENTRE, CARDIFF, CF10 1GA	CHANGE OF USE FROM CLASS A1 (SHOPS) TO CLASS A3 (FOOD AND DRINK)	21/09/2022	Permission be granted	Other Consent Types

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A/22/00061/MNR	02/08/2022	Rekom UK Ltd	ADV	42-43 ST MARY STREET, CITYREPLACEMENT EXTERIOR CENTRE, CARDIFF, CF10 1AD	SIGNAGE	20/09/2022	Permission be granted	Advertisements

CREIGAU/ST FAGANS

22/00349/MJR	18/02/2022	Redrow Homes (South Wales) and St Fagans No1&2 Trust	DOC	PHASE 2, PLASDWR, NORTH WEST CARDIFF	DISCHARGE OF CONDITION 64 (DETAILED FOUL WATER DRAINAGE SCHEME) OF OUTLINE APPLICATION 14/02733/MJR IN RESPECT OF AREA COVERED BY RESERVED MATTERS APPLICATION 22/00136/MJR (PHASE 2 LAND NORTH OF PENTREBANE ROAD)	24/09/2022	Full Discharge of Condition	Discharge of Conditions
22/00302/MNR	27/06/2022	Planning	FUL	PLYMOUTH ARMS, CROFFT-Y-GENAU ROAD, ST FAGANS, CARDIFF, CF5 6DU	MINOR INTERNAL AND EXTERNAL ALTERATIONS	06/09/2022	Permission be granted	Other Consent Types
LBC/22/00010/MNR	17/06/2022	Planning	LBC	PLYMOUTH ARMS, CROFFT-Y-GENAU ROAD, ST FAGANS, CARDIFF, CF5 6DU	MINOR INTERNAL AND EXTERNAL ALTERATIONS INCLUDING SIGNAGE	06/09/2022	Permission be granted	Listed Buildings
A/22/00006/MNR	18/02/2022	Planning	ADV	PLYMOUTH ARMS, CROFFT-Y-GENAU ROAD, ST FAGANS, CARDIFF, CF5 6DU	New Signs	06/09/2022	Permission be granted	Advertisements

CYNCOED

22/01532/DCH	19/07/2022	Thompson	HSE	27 HURFORD PLACE, CYNCOED, CARDIFF, CF23 6QZ	REAR SINGLE STOREY EXTENSION WITH HIP TO GABLE ROOF EXTENSION TO CREATE LIVING SPACE IN LOFT	05/09/2022	Permission be granted	Householder
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22/01476/MJR	11/07/2022	Silver Crescent Developments	NMA	17-41 CLEARWATER WAY, LAKESIDE, CARDIFF, CF23 6DL	VARIATION OF CONDITION 6 TO AMEND THE WORDING OF THE CONDITION - PREVIOUSLY APPROVED UNDER 20/00153/MJR	08/09/2022	Permission be granted	Non Material Amendment
22/01460/MNR	08/07/2022	Cardiff Metropolitan University	FUL	CARDIFF METROPOLITAN UNIVERSITY CYNCOED CAMPUS, CYNCOED ROAD, CYNCOED, CARDIFF, CF23 6XD	ERECTION OF CAMERA GANTRY AND ACCESS STAIR	01/09/2022	Permission be granted	Other Consent Types
22/01317/DCH	01/07/2022	Izzidien	HSE	15 CELYN AVENUE, LAKESIDE, CARDIFF, CF23 6EH	DEMOLITION OF EXISTING REAR ATTACHED GARAGE STRUCTURE AND CONSTRUCTION OF SINGLE STOREY REAR EXTENSION AND TWO STOREY SIDE EXTENSION, WITH REPLACEMENT FLAT ROOF STRUCTURE TO EXISTING REAR EXTENSION AND REAR DORMER AND INSERTION OF ROOFLIGHTS TO FRONT ELEVATION ALL WITH ASSOCIATED EXTERNAL WORKS	01/09/2022	Permission be granted	Householder
22/01557/DCH	21/07/2022	Roberts-Jones	HSE	6 JUSTIN CLOSE, LAKESIDE, CARDIFF, CF23 6HH	PROPOSED GARDEN ROOM AND SUMMER HOUSE AND WORKS TO THE GARDEN WALL	31/08/2022	Permission be granted	Householder
20/02007/DCH	09/10/2020	mackay	HSE	41 WINDERMERE AVENUE, ROATH PARK, CARDIFF, CF23 5PR	SIDE AND REAR SINGLE STOREY EXTENSION. TO ENABLE CREATION OF RESIDENTIAL ANNEXE LINKED AND ATTACHED TO MAIN PROPERTY	14/09/2022	Withdrawn by Applicant	Householder

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22/01628/DCH	08/08/2022	Evans	NMH	37 BETTWS-Y-COED ROAD, CYNCOED, CARDIFF, CF23 6PH	GABLE END ROOF EXTENSION AND INCLUSION OF SIDE WINDOW - PREVIOUSLY APPROVED UNDER 21/00690/DCH	14/09/2022	Withdrawn by Applicant	Non Material Householder
22/01774/DCH	25/08/2022	Davies	CLD	35 LLANDENNIS ROAD, CYNCOED, CARDIFF, CF23 6EE	HIP TO GABLE CONVERSION AND REAR DORMER EXTENSION	14/09/2022	Permission be granted	Other Consent Types
22/01779/DCH	01/09/2022	HAQUE	CLD	23 TORRENS DRIVE, LAKESIDE, CARDIFF, CF23 6DQ	GROUND FLOOR REAR EXTENSION	14/09/2022	Permission be granted	Other Consent Types
22/01415/DCH	22/07/2022	Pro	HSE	95 CELYN AVENUE, LAKESIDE, CARDIFF, CF23 6EL	SINGLE AND DOUBLE STOREY SIDE AND REAR EXTENSIONS AND RAISING OF ROOF TO CREATE LOFT INCLUDING DORMER ROOF EXTENSIONS	12/09/2022	Planning Permission be refused	Householder
22/01737/DCH	16/08/2022	Grindell	HSE	235 HEATHWOOD ROAD, CYNCOED, CARDIFF, CF14 4HS	TWO STOREY SIDE EXTENSION	26/09/2022	Permission be granted	Householder
22/00483/DCH	08/08/2022	Brown	HSE	73 BEATTY AVENUE, ROATH PARK, CARDIFF, CF23 5QS	SINGLE STOREY EXTENSION TO REAR	28/09/2022	Permission be granted	Householder
22/01047/DCH	25/05/2022	Chung	HSE	176 CYNCOED ROAD, CYNCOED, CARDIFF, CF23 6BP	SINGLE STOREY SIDE AND REAR EXTENSION AND LOFT CONVERSION WITH FRONT AND REAR DORMERS	22/09/2022	Planning Permission be refused	Householder
22/01680/DCH	08/08/2022	Boyes	HSE	75 BLACK OAK ROAD, CYNCOED, CARDIFF, CF23 6QU	FIRST FLOOR REAR EXTENSION	22/09/2022	Permission be granted	Householder

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22/01627/DCH	02/08/2022	Adam	HSE	193 LAKE ROAD WEST, ROATH PARK, CARDIFF, CF23 5PN	ERECTION OF ENTRANCE PORCH BENEATH FIRST FLOOR OVER DRIVE EXTENSION, PART DEMOLITION AND CONVERSION OF GARAGE INTO HABITABLE ROOM AND SINGLE STOREY REAR EXTENSION	23/09/2022	Permission be granted	Householder
22/01642/DCH	04/08/2022	Merzook	HSE	327 CYNCOED ROAD, CYNCOED, CARDIFF, CF23 6PD	TWO STOREY SIDE AND REAR EXTENSIONS WITH RAISED RIDGE AND HIP TO GABLE ROOF EXTENSIONS, REAR DORMER AND EXTENDED FRONT BAY TO FORM TWC STOREY FRONT PORCH/HALL	23/09/2022	Planning Permission be refused	Householder
22/01154/DCH	30/05/2022	Torosyan	HSE	100 LAKE ROAD EAST, LAKESIDE, CARDIFF, CF23 5NP	GROUND FLOOR REAR EXTENSION, LOFT CONVERSION WITH REAR DORMER AND ROOF WINDOWS, AND RE-MODELLING OF FIRST FLOOR OPENINGS FOR JULIET BALCONIES	23/09/2022	Permission be granted	Householder
22/01319/MNR	21/06/2022	TIC Developments	FUL	PART OF LAND AT 287 CYNCOED ROAD, CYNCOED, CARDIFF, CF23 6PA	DEMOLITION OF EXISTING GARAGE AND THE CONSTRUCTION OF A NEW TWO BEDROOM DORMER BUNGALOW WITH ASSOCIATED HARD AND SOFT LANDSCAPING	20/09/2022	Planning Permission be refused	Minor - Dwellings (C3)
22/01116/DCH	27/05/2022	Sohail	HSE	166 CYNCOED ROAD, CYNCOED, CARDIFF, CF23 6BP	TWO STOREY REAR AND FRONT EXTENSIONS, FIRST FLOOR SIDE EXTENSION AND GABLE END ATTIC CONVERSION WITH ASSOCIATED WORKS	21/09/2022	Permission be granted	Householder

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22/00050/DCH	10/02/2022	Guyal	HSE	6 LLANGORSE ROAD, CYNCOED, CARDIFF, CF23 6PE	ROOF CONVERSION INCLUDING GABLE END AND DORMER ROOF EXTENSIONS	16/09/2022	Permission be granted	Householder
22/00814/DCH	13/04/2022	Daoud	HSE	18 LAKESIDE DRIVE, LAKESIDE, CARDIFF, CF23 6DD	FIRST FLOOR AND TWO STOREY REAR EXTENSIONS INCLUDING EXTERNAL ALTERATIONS	20/09/2022	Planning Permission be refused	Householder
22/00247/DCH	09/02/2022	KHAN	FUL	67C FIDLAS ROAD, CYNCOED, CARDIFF, CF14 0LX	SINGLE STOREY SIDE EXTENSION WITH ASSOCIATED ALTERATIONS TO GROUND FLOOR REAR FLAT ANNEX	17/09/2022	Permission be granted	Householder
ELY								
22/01333/DCH	28/07/2022	MAIH	HSE	13 ARCHER ROAD, ELY, CARDIFF, CF5 4FL	GROUND FLOOR REAR EXTENSION	15/09/2022	Permission be granted	Householder
FAIRWATER								
22/00347/MJR	18/02/2022	Redrow Homes (South Wales); Trustees of St Fagans No1&2 Trust and Trustees of St	DOC	PLASDWR, RADYR, NORTH WEST CARDIFF, CF5 6LD	RE-DISCHARGE OF CONDITION 24 (STRATEGIC FOUL DRAINAGE MASTERPLAN) OF OUTLINE PLANNING PERMISSION 14/02733/MJR (CONDITION 24 PREVIOUSLY DISCHARGED UNDER APPLICATION 19/02887/MJR).	12/09/2022	Full Discharge of Condition	Discharge of Conditions
22/01008/DCH	01/06/2022	Howard	HSE	25 MARIONVILLE GARDENS, FAIRWATER, CARDIFF, CF5 2LR	SINGLE STOREY REAR EXTENSIONS, 2 STOREY SIDE EXTENSION ABOVE EXISTING GARAGE, AND POOL HOUSE.	10/09/2022	Permission be granted	Householder

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22/00783/MNR	12/04/2022	Ali	FUL	74 PWLLMELIN ROAD, FAIRWATER, CARDIFF, CF5 2NH	PROPOSED CONVERSION OF FORMER DOCTORS MEDICAL PRACTICE INTO TWO SEPARATE DWELLINGS WITH REAR SINGLE STOREY EXTENSION	31/08/2022	Permission be granted	Minor - Dwellings (C3)
22/01263/MNR	30/06/2022	Lowdon	FUL	PART OF LAND AT 59 EVERSWELL ROAD, FAIRWATER, CARDIFF, CF5 3DH	DEMOLITION OF GARAGE AND NEW BUILD PROPERTY TO REAR	01/09/2022	Planning Permission be refused	Minor - Dwellings (C3)
22/01752/MJR	24/08/2022	Redrow (South Wales) Ltd	NMA	PLOTS 423 AND 424, PART 1 OF PHASE 2B, LAND NORTH AND SOUTH OF LLANTRISANT ROAD, NORTH WEST CARDIFF	AMENDMENT TO CONDITION 1 (APPROVED PLANS & DOCUMENTS) SEEKING TO INSERT ADDITIONAL WINDOWS TO THE SIDE ELEVATIONS OF PLOTS 423 AND 424 - PREVIOUSLY APPROVED UNDER RESERVED MATTER 19/00435/MJR (AS AMENDED BY NMA 20/02603/MJR)	23/09/2022	Permission be granted	Non Material Amendment
22/00853/MNR	11/05/2022	FAIRWATER RUGBY CLUB	NMA	THE PAVILION, ASHCROFT CRESCENT, PENTREBANE	INCREASE TO THE NORTH OF THE DEVELOPMENT TO SERVE COMMUNITY USE - PREVIOUSLY APPROVED UNDER 21/00794/MNR	22/09/2022	Permission be granted	Non Material Amendment
22/00412/MNR	07/03/2022	Kumria	FUL	PART OF LAND AT 15 MCCAL AVENUE, FAIRWATER, CARDIFF, CF5 3HY	PROPOSED BUNGALOW ON 'INFILL SITE' ON LAND ADJ TO 15 McCALE AVENUE WITH CROSSOVER ONTO ST FAGANS ROAD	28/09/2022	Permission be granted	Minor - Dwellings (C3)

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22/01665/DCH	12/08/2022	Sprudd	HSE	47 COSHESTON ROAD, FAIRWATER, CARDIFF, CF5 3NQ	SINGLE STOREY EXTENSION TO REAR AND GABLE END ROOF EXTENSION WITH REAR DORMER LOFT CONVERSION	26/09/2022	Permission be granted	Householder
22/01643/DCH	10/08/2022	Rogers	HSE	93 BWLCH ROAD, FAIRWATER, CARDIFF, CF5 3BY	SINGLE STOREY REAR LEAN-TOO EXTENSION	26/09/2022	Permission be granted	Householder

GABALFA

21/02871/MNR	30/03/2022	Dawah	FUL	38 LLANISHEN STREET, GABALFA, CARDIFF, CF14 3QD	CONVERT THE EXISTING RESIDENTIAL PROPERTY INTO TWO SELF CONTAINED WITH A SINGLE STOREY EXTENSION AND LOFT CONVERSION WITH A ROOFLIGHT	26/09/2022	Permission be granted	Minor - Dwellings (C3)
22/01569/MNR	25/07/2022	Ellaby	FUL	36 MANOR STREET, GABALFA, CARDIFF, CF14 3PW	RETENTION OF USE AS C4 HOUSE IN MULTIPLE OCCUPATION	28/09/2022	Permission be granted	Minor - Dwellings (C3)
22/01564/MNR	25/07/2022	Property Index Ltd	VAR	96 WHITCHURCH ROAD, GABALFA, CARDIFF, CF14 3L2	VARIATION OF CONDITION OF 19/00090/MNR TO ALTER APPROVED PLAN	22/09/2022	Permission be granted	Renewals and Variation of Conditions
22/00339/MNR	11/03/2022	Mustafa	FUL	154 WHITCHURCH ROAD, GABALFA, CARDIFF, CF14 3NA	GROUND FLOOR CHANGE OF USE FROM RETAIL TO CLINIC, RETENTION OF NEW/REBUILT REAR EXTENSION AND ALTERATIONS TO GROUND FLOOR FRONT ELEVATION	21/09/2022	Permission be granted	Minor - Other Principal Uses

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22/00413/MNR	08/03/2022	BANCROFT	FUL	3 MARGAM ROAD, MYNACHDY, CARDIFF, CF14 3EH	CONVERSION TO 4NO. FLATS WITH HIP TO GABLE ROOF AND DORMER LOFT CONVERSION AND GROUND FLOOR REAR EXTENSION	11/09/2022	Permission be granted	Minor - Dwellings (C3)

GRANGETOWN

22/00143/MNR	27/01/2022	AG Quidnet UK Industrial 2 BV	DOC	UNIT 8, FREEMANS PARC, PENARTH ROAD, LECKWITH, CARDIFF, CF11 8EQ	DISCHARGE OF CONDITION 12 (DRAINAGE SCHEME) OF 20/00985/MNR	13/09/2022	Full Discharge of Condition	Discharge of Conditions
A/22/00042/MNR	24/06/2022	Enterprise Holdings	ADV	UNIT 2, FREEMANS PARC, PENARTH ROAD, LECKWITH, CARDIFF, CF11 8EQ	NEW SIGNAGE	01/09/2022	Split decision (part app./part ref.)	Advertisements
22/00824/MNR	26/04/2022	Cardiff Harbour Authority	FUL	CARDIFF BAY BARRAGE, PENARTH PORTWAY, GRANGETOWN, CARDIFF, CF64 1TQ	THE PROPOSED DEVELOPMENT CONSISTS OF A PUBLIC ARTWORK COMPRISING A HARDWOOD SCULPTURE SITTING ON A CONCRETE PLINTH	31/08/2022	Permission be granted	General Regulations
22/01533/DCH	19/07/2022	Mak	HSE	8 WATERFORD CLOSE, GRANGETOWN, CARDIFF, CF11 8JN	SINGLE STOREY REAR EXTENSION	02/09/2022	Permission be granted	Householder
22/00809/MNR	25/04/2022	Penross Property Limited	FUL	242 PENARTH ROAD, LECKWITH, CARDIFF, CF11 8TU	RE-ROOFING OF THE EXISTING BUILDING; PARTIAL DEMOLITION OF THE FRONT SECTION OF THE EXISTING BUILDING; ERECTION OF A NEW EXTENSION INCLUDING ASSOCIATED WORKS, AND INSTALLATION OF AN EV CHARGING POINT	20/09/2022	Permission be granted	Other Consent Types

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22/00918/DCH	05/05/2022	Halai	HSE	82 MARDY STREET, GRANGETOWN, CARDIFF, CF11 6QW	SINGLE STOREY REAR AND SIDE EXTENSION, DORMER ROOF EXTENSION AND PORCH	20/09/2022	Planning Permission be refused	Householder
22/01240/DCH	22/06/2022	Mclean	HSE	147 PENARTH ROAD, GRANGETOWN, CARDIFF, CF11 6JU	SINGLE STOREY EXTENSION TO REAR AND REAR ROOF DORMER	20/09/2022	Permission be granted	Householder
22/01237/DCH	13/06/2022	Hirani	HSE	17 DORSET STREET, GRANGETOWN, CARDIFF, CF11 6PS	TAKE DOWN FLAT ROOF TO EXISTING REAR SINGLE STOREY EXTENSION AND REINSATE AT AN INCREASED HEIGHT. PROPOSED SINGLE STOREY REAR EXTENSION, WITH LOFT CONVERSION AND INSERTION OF ROOF-LIGHTS TO FRONT AND REAR ELEVATION WITH ALL ASSOCIATED EXTERNAL WORKS.	16/09/2022	Permission be granted	Householder
22/01259/MNR	24/06/2022	Enterprise Holdings	FUL	UNIT 2, FREEMANS PARC, PENARTH ROAD, LECKWITH, CARDIFF, CF11 8EQ	CHANGE OF USE OF VACANT UNIT TO CAR AND VAN RENTAL FACILITY AND WASH BAY WITH NEW FRONTAGE AND ASSOCIATED WORKS - PREVIOUSLY APPROVED UNDER 22/0609/MNR	16/09/2022	Permission be granted	Minor - Other Principal Uses
PRAP/22/00044/MNR	09/08/2022	CK Hutchison Networks (UK) Ltd	PAT	LAND AT JUNCTION OF SLOPER ROAD AND PENARTH ROAD, LECKWITH	PROPOSED 5G TELECOMS INSTALLATION H3G 15M STREET POLE WITH ADDITIONAL EQUIPMENT CABINETS	22/09/2022	Permission Required	Other Consent Types
22/01721/DCH	17/08/2022	Osman	HSE	161 CORPORATION ROAD, GRANGETOWN, CARDIFF, CF11 7AS	REAR SINGLE STOREY EXTENSION WITH ASSOCIATED WORKS	23/09/2022	Permission be granted	Householder

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22/00982/MNR	13/05/2022	Almcor (RW Cardiff) Ltd	FUL	FORMER PIZZA HUT, CARDIFF BAY RETAIL PARK, FERRY ROAD, GRANGETOWN, CARDIFF, CF11 0JR	INSTALLATION OF A DRIVE THRU LANE AND EXTERNAL ALTERATIONS TO FACILITATE USE AS A DRIVE THRU RESTAURANT WITHIN USE CLASS A3	26/09/2022	Permission be granted	Other Consent Types

HEATH

22/01598/MNR	07/08/2022	Cardiff and Vale University Health Board	FUL	WOODLAND HOUSE, MAES-Y-COED ROAD, HEATH CARDIFF, CF14 4HH	ERECTION OF A DEMOUNTABLE BUILDING IN THE CARPARK OF WOODLAND HOUSE TO CREATE A VACCINATION CENTRE WITH ALLOCATED SPACES FOR THE GENERAL PUBLIC TO PARK	27/09/2022	Permission be granted	Other Consent Types
22/01083/DCH	25/05/2022	Jones	HSE	42 TAIR ERW ROAD, BIRCHGROVE, CARDIFF, CF14 4QZ	HIP TO GABLE LOFT CONVERSION INCLUDING FLAT ROOF DORMER TO THE REAR	16/09/2022	Permission be granted	Householder
22/01222/DCH	20/06/2022	Isom	HSE	63 ST ISAN ROAD, HEATH, CARDIFF, CF14 4LW	GROUND FLOOR SIDE AND REAR EXTENSION GABLE END ROOF EXTENSION WITH REAR DORMER	16/09/2022	Permission be granted	Householder
22/00753/DCH	13/04/2022	Roberts	HSE	43 ST ALBAN AVENUE, HEATH, CARDIFF, CF14 4AS	TWO STOREY SIDE EXTENSION	21/09/2022	Permission be granted	Householder
22/01456/DCH	08/07/2022	ASHWORTH	HSE	49 ST AGATHA ROAD, HEATH CARDIFF, CF14 4EA	SINGLE STOREY SIDE EXTENSION AND CONVERSION OF GARAGE TO FORM HABITABLE ROOM	20/09/2022	Permission be granted	Householder

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PRAP/22/00036/M06	06/07/2022	Amey Infrastructure Wales	PRAP	TY GLAS STATION, FIELD WAY, HEATH, CARDIFF	PLATFORM EXTENSION AND BICYCLE HARD STANDING AREAS	31/08/2022	Prior Approval be granted	Other Consent Types
22/01042/DCH	24/05/2022	DEVONISH	HSE	35 HEATHWOOD GROVE, HEATH, CARDIFF, CF14 3RD	GROUND FLOOR REAR EXTENSION, TWO STOREY SIDE EXTENSION PLUS REAR DORMER LOFT CONVERSION	01/09/2022	Permission be granted	Householder
22/01446/DCH	11/07/2022	Anderson	HSE	158 KING GEORGE V DRIVE EAST, HEATH, CARDIFF, CF14 4EN	GROUND FLOOR REAR AND SIDE EXTENSION	01/09/2022	Permission be granted	Householder
20/01745/MNR	03/09/2020	MacNeil	FUL	14A TY-WERN ROAD, RHIWBINA, CARDIFF, CF14 6AA	CHANGE OF USE FROM COMMERCIAL TO RESIDENTIAL, PARTIAL DEMOLITION OF EXISTING BUILDING AND CONVERSION TO 4 BEDROOM DETACHED DWELLING	13/09/2022	Withdrawn by Applicant	Minor - Dwellings (C3)
22/01023/MNR	23/05/2022	Fusneica	FUL	328 NORTH ROAD, BIRCHGROVE, CARDIFF, CF14 3BP	CHANGE OF USE FROM TWO FLATS INTO SUI GENERIS HOUSE IN MULTIPLE OCCUPATION AND SINGLE STOREY REAR EXTENSION	14/09/2022	Permission be granted	Minor - Dwellings (C3)
22/01321/MNR	21/06/2022	Souto	FUL	1A DALE AVENUE, BIRCHGROVE, CARDIFF, CF14 4QQ	DEMOLITION OF THE EXISTING TWO STOREY BUILDING AND REDEVELOPMENT OF THE SITE TO PROVIDE 2 NO. APARTMENTS, PARKING AND AMENITY SPACE	14/09/2022	Permission be granted	Minor - Dwellings (C3)
LISVANE								
22/01704/DCH	15/08/2022	Graham	CLU	5 CHURCH CLOSE, LISVANE, CARDIFF, CF14 0SL	SINGLE STOREY REAR EXTENSION	12/09/2022	Permission be granted	Other Consent Types

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22/01254/DCH	13/07/2022	Jones	HSE	33 RIDGEWAY, LISVANE, CARDIFF, CF14 0RS	REAR GROUND FLOOR EXTENSION TO FORM ORANGERY	10/09/2022	Permission be granted	Householder
21/02946/MJR	16/12/2021	Redrow Homes (South Wales) Ltd	RES	PHASE 1C(I), CHURCHLANDS LAND NORTH AND EAST OF LISVANE, MAERDY LANE, LISVANE	RESERVED MATTERS APPLICATION RELATING TO LAYOUT, SCALE, APPEARANCE OF BUILDINGS, MEANS OF ACCESS (WHERE NOT ALREADY PERMITTED BY THE PERMISSION) AND LANDSCAPING FOR LAND WEST OF PHASE 1C(I) OF THE SITE COMPRISING 2 DWELLINGS PURSUANT TO APPROVAL 14/02891/MJR	09/09/2022	Permission be granted	Minor - Dwellings (C3)
22/01348/DCH	05/07/2022	Knight	HSE	30 HOLLY GROVE, LISVANE, CARDIFF, CF14 0UJ	FIRST FLOOR REAR EXTENSION	31/08/2022	Permission be granted	Householder
22/01057/DCH	18/05/2022	Polly James	HSE	6 ROWAN WAY, LISVANE, CARDIFF, CF14 0TB	DEMOLISH EXISTING GARAGES AND CONSTRUCTION OF TWO STOREY SIDE EXTENSION, PART SINGLE AND PART TWO STOREY REAR EXTENSION	31/08/2022	Permission be granted	Householder
22/01080/DCH	20/05/2022	John	HSE	54 HEOL CEFN ON, LISVANE, CARDIFF, CF14 0TQ	DEMOLITION OF EXISTING GARAGE STRUCTURE TO ALLOW FOR NEW TWO STOREY SIDE EXTENSION AND SINGLE REAR EXTENSION	31/08/2022	Permission be granted	Householder

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22/01407/DCH	08/07/2022	Cunningham	HSE	58 OAKRIDGE, THORNHILL, CARDIFF, CF14 9BU	REMOVAL OF EXISTING SINGLE STOREY FRONT SIDE EXTENSION AND REAR EXTENSION AND REPLACEMENT WITH NEW SINGLE STOREY FRONT/SIDE EXTENSION AND REAR EXTENSION WITH ASSOCIATED WORKS	20/09/2022	Permission be granted	Householder
22/01066/DCH	24/05/2022	Garland	HSE	15 HEOL ST DENYS, LISVANE, CARDIFF, CF14 0RU	FIRST FLOOR EXTENSION OVER EXISTING GARAGE AND SINGLE STOREY REAR AND SIDE EXTENSIONS	21/09/2022	Permission be granted	Householder
22/01432/DCH	06/07/2022	Jain	HSE	SUNCREST, 85C MILL ROAD, LISVANE, CARDIFF, CF14 0UG	TWO-STOREY FRONT EXTENSION, SINGLE STOREY REAR EXTENSION, AND ASSOCIATED ALTERATIONS	16/09/2022	Permission be granted	Householder
22/01565/MNR	27/07/2022	REDROW HOMES LTD	FUL	PLOT 82, HEOL NANT GLANDULAS, LISVANE, CARDIFF, CF14 0AF	PROPOSED ALTERATION OF APPROVED DWELLING TO INCLUDE REAR CONSERVATORY EXTENSION	15/09/2022	Permission be granted	Minor - Dwellings (C3)
22/01120/DCH	01/07/2022	Thomson	HSE	2 CHERRY TREE CLOSE, LISVANE, CARDIFF, CF14 0TE	REAR EXTENSION AND REAR DORMER. FRONT DORMER ADDITION. FRONT PORCH ADDITION.	20/09/2022	Permission be granted	Householder
21/02514/DCH	09/11/2021	Iqbal	HSE	78 MILL ROAD, LISVANE, CARDIFF, CF14 0UG	DOUBLE STOREY FRONT, SIDE AND REAR EXTENSIONS AND REAR DORMER ROOF EXTENSION	28/09/2022	Planning Permission be refused	Householder

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21/02335/MNR	29/09/2021	Greene King	FUL	THE BLACK GRIFFIN INN, CHURCH ROAD, LISVANE, CARDIFF, CF14 0SJ	NEW EXTERNAL DINING AREA; NEW COMPOSITE TIMBER DECKING AND RESIN BOND FLOORING; INSTALLATION OF FESTOON LIGHTS.	24/09/2022	Permission be granted	Minor - Retail (A1-A3)
22/01671/DCH	10/08/2022	Cole	HSE	27 HEOL PEREDUR, THORNHILL, CARDIFF, CF14 9HP	TWO STOREY SIDE EXTENSION	23/09/2022	Permission be granted	Householder
22/01363/DCH	05/07/2022	NAVARATNARAJAH	HSE	THE PALMYRAH, CHURCHILL CLOSE, LISVANE, CARDIFF, CF14 0EP	TWO STOREY SIDE, FIRST FLOOR REAR EXTENSION AND EXTERNAL ALTERATIONS	22/09/2022	Permission be granted	Householder
A/22/00058/MNR	27/07/2022	Mitchells & Butlers	ADV	MILLER AND CARTER, THORNHILL ROAD, LISVANE, CARDIFF, CF14 9UA	NEW SIGNAGE	22/09/2022	Permission be granted	Advertisements

LLANDAFF

22/01612/DCH	04/08/2022	John	CLD	CHARLESTON HOUSE, PWLLMELIN LANE, LLANDAFF, CARDIFF, CF5 2NQ	DORMER ROOF EXTENSIONS	29/09/2022	Permission be granted	Other Consent Types
22/01771/DCH	09/09/2022	Barron	CLD	94 FAIRWATER GROVE WEST LLANDAFF, CARDIFF, CF5 2JR	EXISTING OUTHOUSE TO BE DEMOLISHED AND CONSTRUCTION OF NEW SINGLE STOREY EXTENSION	16/09/2022	Permission be granted	Other Consent Types
22/01587/DCH	27/07/2022	Bond	HSE	33 INSOLE GARDENS, LLANDAFF, CARDIFF, CF5 2HW	SINGLE STOREY REAR AND SIDE WRAP AROUND EXTENSION, HIP TO GABLE EXTENSION AND REAR DORMER	21/09/2022	Permission be granted	Householder
22/01674/DCH	17/08/2022	Kerai	CLD	27 DE BRAOSE CLOSE, DANESCOURT, CARDIFF, CF5 2DH	SINGLE STOREY SIDE AND REAR EXTENSION	31/08/2022	Permission be granted	Other Consent Types

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22/01703/DCH	12/08/2022	Packer	CLD	11 DOUGLAS CLOSE, DANESCOURT, CARDIFF, CF5 2QT	GROUND FLOOR REAR EXTENSION	31/08/2022	Permission be granted	Other Consent Types
22/01441/DCH	07/07/2022	McVeigh	HSE	3 HEOL HARLECH, LLANDAFF, CARDIFF, CF5 2HX	TWO STOREY SIDE EXTENSION	01/09/2022	Planning Permission be refused	Householder
22/00102/DCH	30/03/2022	Playle	HSE	19 RIVERSDALE, LLANDAFF, CARDIFF, CF5 2QL	PART SINGLE AND PART DOUBLE SIDE AND REAR EXTENSION AND CONSTRUCTION OF FRONT PORCH	01/09/2022	Permission be granted	Householder
22/01572/DCH	25/07/2022	Fields	HSE	9 BISHOPS' CLOSE, LLANDAFF, CARDIFF, CF5 2HF	CONSTRUCTION OF SINGLE-STOREY REAR AND SIDE EXTENSION, AND HIP TO GABLE ROOF EXTENSION WITH DORMER TO REAR	02/09/2022	Permission be granted	Householder
22/00772/MNR	08/04/2022	iKEK City Developments	DOC	36 CARDIFF ROAD, LLANDAFF, CARDIFF, CF5 2DR	DISCHARGE OF CONDITIONS 3 (ARBORICULTURAL METHOD STATEMENT REPORT), 4 (SOFT LANDSCAPING), 6 (TRAFFIC NOISE) AND 12 (ACCESS GATES) OF 21/01434/MNR	13/09/2022	Full Discharge of Condition	Discharge of Conditions

LLANDAFF NORTH

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21/02608/MNR	08/11/2021	Welsh Water	FUL	LAND EITHER SIDE OF RIVER THE CONSTRUCTION OF TAFF COMPRISING LAND SOUTH OF EXISTING ACCESS ROAD WITHIN HAILEY PARK AND LAND AT EASTERN TURNING HEAD OF DE BRAOSE CLOSE, DANESCOURT, CARDIFF	SEWERAGE PUMPING STATION AND ASSOCIATED COMPOUND WITHIN HAILEY PARK CONNECTING TO THE EXISTING GATED HARD STANDING ACCESS ROAD INCLUDING INTERNAL KIOSK UNITS WITH SECURITY FENCING AND LANDSCAPE PLANTING TO THE EASTERN, WESTERN AND SOUTHERN BOUNDARIES TO PREVENT LANDSCAPE IMPACTS ON HAILEY PARK THE DE BRAOSE CLOSE DEVELOPMENT WOULD INCLUDE A 1.2M TALL ACTUATION VALVE KIOSK UPON OVERGROWN SCRUBLAND ADJACENT TO THE EASTERN PEDESTRIAN FOOTWAY	12/09/2022	Permission be granted	Other Consent Types

22/01597/DCH	28/07/2022	Swains	HSE	22 CHAMBERLAIN ROAD, LLANDAFF NORTH, CARDIFF, CF14 2LX	TWO STOREY SIDE EXTENSION AND RE-CONSTRUCTION OF EXISTING SINGLE STOREY REAR EXTENSION	20/09/2022	Permission be granted	Householder
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22/01708/DCH	12/08/2022	Mosobbir	HSE	12 BALA ROAD, LLANDAFF NORTH, CARDIFF, CF14 2QL	GROUND AND FIRST FLOOR REAR EXTENSION	23/09/2022	Permission be granted	Householder
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LLANISHEN

22/01143/DCH	01/06/2022	MORGAN	HSE	25 CHERITON DRIVE, THORNHILL, CARDIFF, CF14 9DF	CONVERSION OF GARAGE TO LIVING ACCOMMODATION, SINGLE STOREY REAR EXTENSION AND FIRST FLOOR EXTENSION TO FRONT AND SIDE	23/09/2022	Permission be granted	Householder
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22/00554/MNR	16/03/2022	Ali	DOC	LAND AT WOODRUFF WAY, THORNHILL, CARDIFF	DISCHARGE OF CONDITIONS 3 (EXTERNAL FINISHING MATERIALS), 4 (SITE ENCLOSURE), 11 (DRAINAGE SCHEME) AND 17 (FLOOR AND GROUND LEVELS) OF 18/01020/MNR	22/09/2022	Full Discharge of Condition	Discharge of Conditions
22/01626/MNR	03/08/2022	Public Health Wales	FUL	GROUND FLOOR, KIMBERLEY HOUSE, TY GLAS AVENUE, LLANISHEN, CARDIFF, CF14 5DX	CHANGE OF USE OF THE GROUND FLOOR OF AN EXISTING BUILDING FROM B1 OFFICES TO MIXED USE B1 AND D1 (OFFICES AND CONSULTING ROOMS)	16/09/2022	Permission be granted	Minor - Other Principal Uses
22/00642/DCH	06/05/2022	Winstone	HSE	58 THORNHILL ROAD, LLANISHEN, CARDIFF, CF14 6PF	CONSTRUCTION OF OUTBUILDING IN REAR GARDEN ATTACHED TO EXISTING GARAGE	20/09/2022	Permission be granted	Householder
22/01489/MJR	14/07/2022	Dwr Cymru Welsh Water	DOC	GROUNDS OF LLANISHEN RESEVOIR, LISVANE ROAD, LISVANE, CARDIFF, CF14 0SA	DISCHARGE OF CONDITION 16 (FOOTPATH-DETAIL) OF 20/02175/MJR	08/09/2022	Full Discharge of Condition	Discharge of Conditions
22/00971/MJR	06/05/2022	Dwr Cymru Welsh Water	DOC	GROUNDS OF LLANISHEN RESERVOIR, LISVANE ROAD, LISVANE, CARDIFF, CF14 0SA	DISCHARGE OF CONDITION 15 (CAR PARK SURFACE FINISHES) OF 20/02175/MJR	08/09/2022	Full Discharge of Condition	Discharge of Conditions
22/01255/MNR	15/06/2022	Nori	VAR	LAND ADJACENT TO 46 WOODRUFF WAY, THORNHILL, CARDIFF	VARIATION OF CONDITION 2 OF 18/01020/MNR TO REPLACE THE LIST OF ARCHITECTURAL DRAWINGS IN WHICH THE DEVELOPMENT MUST ADHERE TO	05/09/2022	Permission be granted	Renewals and Variation of Conditions

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22/01014/MNR	12/05/2022	Pelican Healthcare Ltd	FUL	GREYPOINT, CARDIFF BUSINESS PARK, PARC TY GLAS, LLANISHEN, CARDIFF, CF14 5WF	PROPOSED ERECTION OF STEEL WATER STORAGE TANKS AND PUMP HOUSE FOR SPRINKLER INSTALLATION TO EXISTING FACTORY	31/08/2022	Permission be granted	Other Consent Types

LLANRUMNEY

22/00963/DCH	05/05/2022	Davies	HSE	14 WORLE AVENUE, LLANRUMNEY, CARDIFF, CF34BZ	SINGLE STOREY EXTENSION TO SIDE	01/09/2022	Permission be granted	Householder
22/00989/DCH	10/05/2022	Stacy/Cook	HSE	25 MALMESMEAD ROAD, LLANRUMNEY, CARDIFF, CF35QG	SINGLE STOREY GROUND FLOOR REAR EXTENSION	05/09/2022	Permission be granted	Householder
22/01527/DCH	15/07/2022	DFG CARDIFF COUNTY COUNCIL	HSE	44 BRAUNTON CRESCENT, LLANRUMNEY, CARDIFF, CF35HT	CONSTRUCTION OF A SINGLE STOREY EXTENSION TO THE REAR OF THE PROPERTY TO PROVIDE A GROUND SHOWER ROOM	02/09/2022	Permission be granted	General Regulations
22/00661/MJR	13/04/2022	Cardiff Council; Wates Residential	DOC	FORMER LLANRUMNEY HIGH SCHOOL, BALL ROAD, LLANRUMNEY, CARDIFF, CF34YW	DISCHARGE OF CONDITIONS 13 (ARBORICULTURAL IMPACT ASSESSMENT, METHOD STATEMENT AND TREE PROTECTION PLAN), 18 (EXTERNAL MATERIALS FOR HOUSES AND APARTMENTS), 19 (SAMPLES OF BRICK BOUNDARY WALL) AND 29 (HARTLAND ROAD WIDENING) OF 18/02594/MJR	10/09/2022	Full Discharge of Condition	Discharge of Conditions

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22/01035/MJR	27/05/2022	Cardiff BMX Racing Club	FUL	RIVERSIDE PARK, HARTLANC ROAD, LLANRUMNEY, CARDIFF	FULL PLANNING APPLICATION TO ACCOMMODATE DRAINAGE REQUIREMENTS FOR A BMX TRACK	14/09/2022	Permission be granted	Other Consent Types
22/01294/DCH	20/06/2022	Perks	HSE	5 ILFRACOMBE CRESCENT, LLANRUMNEY, CARDIFF, CF34TA	SIDE AND REAR EXTENSION WITH GARAGE TO SIDE	16/09/2022	Planning Permission be refused	Householder
22/01624/DCH	02/08/2022	Jones	HSE	5 WORLE AVENUE, LLANRUMNEY, CARDIFF, CF34BZ	RETENTION OF NEW BOUNDARY WALL	21/09/2022	Planning Permission be refused	Householder
PENTWYN								
22/01239/DCH	14/06/2022	Coles	HSE	92 BRYNCYN, PENTWYN, CARDIFF, CF23 7BL	SINGLE STOREY PORCH EXTENSION TO FRONT ELEVATION	16/09/2022	Permission be granted	Householder
22/01621/DCH	04/08/2022	Coombs	HSE	177 WYNCLIFFE GARDENS, PENTWYN, CARDIFF, CF23 7FD	SINGLE STOREY REAR AND SIDE EXTENSION	26/09/2022	Permission be granted	Householder
22/01458/DCH	28/07/2022	Duric	HSE	161 WYNCLIFFE GARDENS, PENTWYN, CARDIFF, CF23 7FD	CONVERSION OF INTEGRAL GARAGE INTO HABITABLE ROOM	14/09/2022	Permission be granted	Householder
22/01518/DCH	21/07/2022	Baldwin	HSE	203 HILLRISE, LLANEDEYRN, CARDIFF, CF23 6UN	SINGLE STOREY SIDE EXTENSION	15/09/2022	Permission be granted	Householder
22/01350/MNR	08/07/2022	ICL Care Ltd	CLD	6 KESTREL CLOSE, PENTWYN, CARDIFF, CF23 7HH	CHANGE OF USE FROM RESIDENTIAL TO CLASS C2 (RESIDENTIAL CARE HOME)	10/09/2022	Permission be granted	Other Consent Types
22/00819/MNR	14/04/2022	Cardiff County Council	FUL	REAR OF BLOCKS 265-273, 274-282 AND 283-291 PENNSYLVANIA, LLANEDEYRN, CARDIFF	CHANGE OF USE OF COURTYARD AREAS FROM AMENITY OPEN SPACE TO PRIVATE AMENITY SPACE	13/09/2022	Permission be granted	Minor - Other Principal Uses

PENTYRCH AND ST FAGANS

22/01139/MJR	30/05/2022	Redrow Homes (South Wales)	DOC	CAE ST FAGANS PHASE 1E, LAND SOUTH OF PENTREBANE ROAD, CARDIFF	RE-DISCHARGE OF CONDITION 7 (TREE PLANTING DETAILS IN PROPOSED BUILD OUTS FRONTING PLOTS 93, 96 AND 118) OF RESERVED MATTER APPROVAL 17/00414/MJR IN RESPECT OF PHASE 1E (PREVIOUSLY DISCHARGED UNDER DISCHARGE OF CONDITION APPLICATION 17/02920/MJR)	10/09/2022	Full Discharge of Condition	Discharge of Conditions
22/01513/MJR	26/07/2022	Persimmon Homes East Wales	NMA	LAND TO THE NORTH OF M4 JUNCTION 33, CREIGIAU, CARDIFF	AMEND CONDITION 1 OF 21/00808/MJR RELATING TO APPROVED PLANS TO ALLOW SUBSTITUTION OF UPDATED LAYOUT AND DRAINAGE PLANS SHOWING ADDITIONAL SURFACE WATER ATTENUATION, RAIN GARDENS, FILTER DRAINS AND MINOR CHANGES TO LAYOUT WITH CONSEQUENTIAL UPDATES TO SUPPORTING PLANS TO ENSURE TIE IN	15/09/2022	Withdrawn by Applicant	Non Material Amendment
22/01646/DCH	10/08/2022	Llewellyn	HSE	DELFRYN, HEOL-Y-PENTRE, PENTYRCH, CARDIFF, CF15 9QE	CONSTRUCTION OF REAR SINGLE STOREY SUN ROOM EXTENSION	26/09/2022	Permission be granted	Householder

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22/01754/MJR	18/08/2022	Redrow Homes (South Wales), Trustees of St Fagans No 1 & 2 Trust and Trustees of	DOC	PLASDWR, NORTH WEST CARDIFF	PARTIAL RE-DISCHARGE OF CONDITION 28 (DETAILED HIGHWAY IMPROVEMENT WORKS - JUNCTION 3) OF 14/02733/MJR, FOLLOWING INITIAL DISCHARGE UNDER APPLICATION REF 19/01227/MJR	29/09/2022	Partial Discharge of Condition (s)	Discharge of Conditions
22/01479/DCH	19/07/2022	MacDonald	HSE	RHONDDA RISE, HEOL PANT-Y-GORED, CREIGIAU, CARDIFF, CF15 9NF	SINGLE STOREY SIDE AND REAR EXTENSIONS, EXTENSION AND CONVERSION OF GARAGE INTO A DOUBLE GARAGE WITH GARDEN SUMMER HOUSE, WITH ASSOCIATED ALTERATIONS	22/09/2022	Permission be granted	Householder
22/01381/DCH	26/07/2022	Griffiths	HSE	TYGWYN, 1 MOUNTAIN ROAD PENTYRCH, CARDIFF, CF15 9QP	TWO STOREY EXTENSION TO FRONT ELEVATION LINKING TO THE EAST SIDE ELEVATION, EXTENSION TO EXISTING STABLES/OUTBUILDING, WITH ASSOCIATED WORKS	16/09/2022	Permission be granted	Householder
22/01512/DCH	18/07/2022	Mr Paul Tyler	HSE	THE GLADE, SCHOOL LANE, GWAELOD-Y-GARTH, CARDIFF, CF15 9HN	RETENTION OF A TEMPORARY SECTIONAL GARAGE SITUATED IN THE FORE COURT OF "THE GLADE"	20/09/2022	Permission be granted	Householder
PENYLAN								
22/01483/MNR	28/07/2022	LATTE	FUL	REAR OF 62, PEN-Y-LAN ROAD, ROATH, CARDIFF, CF23 5HW	ALTERATIONS TO CONVERT GARAGE TO COFFEE SHOP	20/09/2022	Permission be granted	Minor - Retail (A1-A3)

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22/01695/DCH	16/08/2022	Keddle	HSE	9 GRENVILLE ROAD, ROATH, CARDIFF, CF23 5BP	ERECTION OF A SINGLE-STOREY REAR EXTENSION AND REAR DORMER	26/09/2022	Permission be granted	Householder
22/01727/DCH	22/08/2022	Smith	HSE	14 TY-GWYN ROAD, PENYLAN, CARDIFF, CF23 5JE	TWO STOREY REAR AND FIRST FLOOR SIDE EXTENSIONS AND REBUILDING FRONT WINDOWS BAYS IN TRADITIONAL STONE	26/09/2022	Permission be granted	Householder
22/01530/DCH	19/07/2022	Hopkins	HSE	6 DERI ROAD, PENYLAN, CARDIFF, CF23 5AJ	PROPOSED SINGLE STOREY REAR EXTENSION AND ASSOCIATED ALTERATION WORKS	15/09/2022	Permission be granted	Householder
22/01699/MNR	15/08/2022	St David's Catholic Sixth Form College	NMA	ST DAVIDS ROMAN CATHOLIC SIXTH FORM COLLEGE, TY-GWYN ROAD, PENYLAN, CARDIFF, CF23 5QD	MINOR RE-ALIGNMENT OF THE INTERNAL ROAD TO WIDEN TO COMPLY WITH HIGHWAY SAFETY - PREVIOUSLY APPROVED UNDER 21/02348/MNR	13/09/2022	Permission be granted	Non Material Amendment
22/01506/DCH	15/07/2022	Muir	HSE	18 WATERLOO ROAD, PENYLAN, CARDIFF, CF23 5AE	SINGLE STOREY REAR/SIDE EXTENSION	10/09/2022	Permission be granted	Householder
22/01563/MNR	29/07/2022	Shad	NMA	PART OF LAND AT 10 CEFN COED ROAD, CYNCOED, CARDIFF, CF23 6AQ	ALTERATION TO THE GROUND AND FIRST FLOOR PLAN TO OMIT A RECESS AND ALTER WINDOW ORIENTATION AND INCLUDE ADDITIONAL ROOF LIGHTS - PREVIOUSLY APPROVED UNDER 22/00402/MNR	02/09/2022	Permission be granted	Non Material Amendment
22/01335/DCH	12/07/2022	MALIK	HSE	73 CYNCOED ROAD, PENYLAN, CARDIFF, CF23 5SB	FIRST FLOOR FRONT EXTENSION	07/09/2022	Permission be granted	Householder

PLASNEWYDD

22/01493/DCH	14/07/2022	Johnes	HSE	104 ROATH COURT ROAD, ROATH, CARDIFF, CF24 3SF	REAR SINGLE STOREY EXTENSION	06/09/2022	Permission be granted	Householder
22/01453/DCH	14/07/2022	Matthew	HSE	101 KEPPOCH STREET, ROATH, CARDIFF, CF24 3JT	REAR SINGLE STOREY EXTENSION	10/09/2022	Permission be granted	Householder
22/01238/DCH	21/06/2022	Schaaf	HSE	76 CLAUDE ROAD, ROATH, CARDIFF, CF24 3QB	INSTALLATION OF AIR SOURCE HEAT PUMP AT REAR	13/09/2022	Withdrawn by Applicant	Householder
21/01679/MNR	07/07/2021	Plaza Property Management Service	FUL	115-119 CITY ROAD, ROATH, CARDIFF	CONVERSION TO MIXED USE DEVELOPMENT COMPRISING 4NO RETAIL UNITS (A1 & A3 USES), 6NO RESIDENTIAL UNITS AND AN OFFICE AT UPPER LEVELS (B1 & C3 USES)	14/09/2022	Planning Permission be refused	Minor - Dwellings (C3)
22/01334/DCH	12/07/2022	MOGHAL	HSE	10 BOVERTON STREET, ROATH, CARDIFF, CF23 5ES	REAR DORMER LOFT CONVERSION WITH GROUND FLOOR REAR EXTENSION	14/09/2022	Permission be granted	Householder
22/01484/MNR	28/07/2022	MAHMOUD	VAR	2 ALBANY ROAD, ROATH, CARDIFF, CF24 3RP	VARIATION OF CONDITION 3 OF 21/00472/MNR TO ALLOW OPENING HOURS TO BE EXTENDED TO 11.00AM TO 01.00 AM ON FRIDAYS AND SATURDAYS	14/09/2022	Permission be granted	Renewals and Variation of Conditions
22/01663/MNR	15/08/2022	Far Horizon Properties	FUL	6 VERE STREET, ROATH, CARDIFF, CF24 3DS	CHANGE OF USE OF GROUND FLOOR SHOP UNITS TO ADDITIONAL RESIDENTIAL ACCOMMODATION TO FORM DUPLEX FLATS WITH FACILITATING EXTERNAL ELEVATIONAL ALTERATIONS	27/09/2022	Permission be granted	Minor - Dwellings (C3)

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22/00394/MNR	07/04/2022	MOHAMMADI	FUL	160 CITY ROAD, ROATH, CARDIFF, CF24 3JE	EXTEND EXISTING A1 USE AT GROUND FLOOR, CONVERT UPPER FLOORS INTO 4 SELF CONTAINED FLATS WITH FIRST FLOOR REAR EXTENSION, GABLE EXTENSION TO FRONT, SIDE DORMERS AND EXTERNAL ALTERATIONS	23/09/2022	Permission be granted	Minor - Dwellings (C3)
21/01068/MNR	28/04/2021	Verma	OUT	20 AND 22 RICHMOND ROAD, ROATH, CARDIFF, CF24 3AS	ERECTION OF ATTACHED SINGLE STOREY REAR EXTENSION TO FORM NEW ATTACHED DWELLINGS AND NEW DETACHED BUNGALOW WITH SHARED AMENITY AREA AND ACCESS FOR WHOLE SITE	22/09/2022	Permission be granted	Minor - Dwellings (C3)
PONTPRENAU/OLD ST MELLONS								
22/00745/DCH	11/04/2022	Forsyth	HSE	103 CHURCH ROAD, OLD ST MELLONS, CARDIFF, CF3 6AJ	ERECTION OF TWO STOREY SIDE AND SINGLE STOREY REAR EXTENSION WITH A DORMER ROOF EXTENSION	24/09/2022	Planning Permission be refused	Householder
22/01594/MNR	28/07/2022	Finnegan	FUL	FORMER STRATSTONE, AVENUE INDUSTRIAL PARK, CROESCADARN CLOSE, PONTPRENAU, CARDIFF, CF23 8HE	REPLACEMENT OF LIGHT GREY CLADDING TO SIDE OF BUILDING TO MATCH NEWER DARK GREY CLADDING ON THE FRONT ELEVATION	14/09/2022	Permission be granted	Other Consent Types

RADYR

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22/00771/MJR	28/04/2022	Amey Infrastructure Wales	DOC	LAND EITHER SIDE OF RADYR TO PONTYPRIDD RAILWAY LINE AT GELYNIS FARM, TY-NANT ROAD, MORGANSTOWN, CARDIFF, CF15 8LB	DISCHARGE OF CONDITION 16 (HIGHWAY REINSTATEMENT WORKS) OF 21/00235/MJR	15/09/2022	Partial Discharge of Condition (s)	Discharge of Conditions
22/01505/DCH	22/07/2022	FISHPOOL	HSE	24 DROVERS WAY, RADYR, CARDIFF, CF15 8GG	SECOND STOREY EXTENSION OVER GARAGE	05/09/2022	Permission be granted	Householder
22/01549/DCH	20/07/2022	Mr Niraj Sinha & Ms. Shuchita Verma	HSE	12 MAES Y BRIALLU, MORGANSTOWN, CARDIFF, CF15 8FA	SINGLE STOREY REAR EXTENSION AND TIMBER FENCE TO SIDE AND REAR OF PROPERTY	05/09/2022	Permission be granted	Householder
22/00743/DCH	14/04/2022	Howells	HSE	27 THE GREEN, RADYR, CARDIFF, CF15 8BR	ERECTION OF TWO STOREY SIDE AND SINGLE STOREY REAR EXTENSIONS	23/09/2022	Permission be granted	Householder
22/01596/DCH	28/07/2022	Douglas	HSE	128 GOETRE FAWR, RADYR, CARDIFF, CF15 8EU	SINGLE STOREY SIDE EXTENSION	21/09/2022	Permission be granted	Householder
22/01343/DCH	06/07/2022	Payne	HSE	8 MAPLE TREE CLOSE, RADYR, CARDIFF, CF15 8RU	TWO STOREY SIDE EXTENSION AND GROUND FLOOR REAR EXTENSION WITH ASSOCIATED ALTERATIONS	20/09/2022	Permission be granted	Householder

RHIWBINA

22/01690/DCH	10/08/2022	Brain	HSE	36 HEOL-Y-NANT, RHIWBINA, CARDIFF, CF14 6BT	LOFT CONVERSION COMPRISING A HIP TO GABLE ROOF EXTENSION WITH REAR DORMER, INSERTION OF WINDOW TO SIDE ELEVATION AND ROOF-LIGHTS TO FRONT ELEVATION WITH ALL ASSOCIATED EXTERNAL WORKS	20/09/2022	Permission be granted	Householder
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22/00816/MNR	20/04/2022	4 Jays Ltd	FUL	31 HEOL-Y-NANT, RHIWBINA, CARDIFF, CF14 6BS	DEMOLITION OF EXISTING BUILDING OF 5 FLATS AND CONSTRUCTION OF 2NO.SEMI DETACHED DWELLING HOUSES WITH ASSOCIATED WORKS	21/09/2022	Permission be granted	Minor - Dwellings (C3)
22/00997/DCH	19/05/2022	Burgess	HSE	1 TYLA TEG, PANTMAWR, CARDIFF, CF14 7TL	DEMOLITION OF EXISTING GARAGE AND CONSTRUCTION OF TWO STOREY SIDE EXTENSION AND REAR DORMER ROOF EXTENSIONS	21/09/2022	Permission be granted	Householder
22/00103/DCH	20/01/2022	Barlow	HSE	10 CLOS MABON, RHIWBINA, CARDIFF, CF14 6RN	PROPOSED TWO STOREY SIDE EXTENSION	21/09/2022	Permission be granted	Householder
22/01389/DCH	08/07/2022	Tunley	CLD	18 COED YR YNN, RHIWBINA, CARDIFF, CF14 6PH	SINGLE STOREY SIDE EXTENSION	21/09/2022	Withdrawn by Applicant	Householder
22/00663/DCH	04/05/2022	O'Grady	HSE	36 WAUN-FAWR ROAD, RHIWBINA, CARDIFF, CF14 4SJ	SINGLE STOREY REAR AND TWO STOREY SIDE EXTENSION	16/09/2022	Permission be granted	Householder
22/00289/DCH	18/02/2022	Joshi	HSE	41 THORNHILL ROAD, RHIWBINA, CARDIFF, CF14 6PE	SECOND STOREY EXTENSION OVER SIDE DRIVEWAY AND A SINGLE STOREY REAR GARDEN ROOM EXTENSION	20/09/2022	Planning Permission be refused	Householder
22/00524/DCH	25/03/2022	Alkhafaji-Williams	HSE	70 BEULAH ROAD, RHIWBINA, CARDIFF, CF14 6LY	SIDE AND REAR DOUBLE STOREY EXTENSION WITH INCREASE IN RIDGE HEIGHT AND HIP TO GABLE ROOF EXTENSIONS TO BOTH SIDES	20/09/2022	Planning Permission be refused	Householder
22/00936/DCH	06/05/2022	Valentine	HSE	107 PANTMAWR ROAD, PANTMAWR, CARDIFF, CF14 7TE	ERECTION OF A SINGLE STOREY STEEL FRAMED WOODEN CLAD GARDEN HOUSE IN THE FRONT GARDEN	23/09/2022	Planning Permission be refused	Householder

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22/01781/DCH	30/08/2022	MARTIN	NMH	12 ARDWYN, PANTMAWR, CARDIFF, CF14 7HF	REPLACE WINDOWS IN REAR DORMER WITH JULIETTE BALCONIES, REPLACE VELUX TO ATTIC BATHROOM WITH PITCHED ROOF DORMER, OMIT WINDOW TO ATTIC BATHROOM - SIDE ELEVATION AND REPLACE LEAN-TO ROOF TO GROUND FLOOR EXTENSION WITH FLAT ROOF - PREVIOUSLY APPROVED UNDER 22/00101/DCH	22/09/2022	Planning Permission be refused	Non Material Householder
22/01780/DCH	25/08/2022	Bown	NMH	36 HEOL WEN, RHIWBINA, CARDIFF, CF14 6EG	TO REPLACE THE PROPOSED EXTERNAL TIMBER CLADDING WITH STONE CLADDING BUT COVERING THE TWO STOREY ELEMENT OF THE PROPOSED SIDE EXTENSION - PREVIOUSLY APPROVED UNDER 21/01094/DCH	05/09/2022	Permission be granted	Non Material Householder
22/01474/DCH	18/07/2022	Hampson-Stoyle	HSE	16 GROES LON, RHIWBINA, CARDIFF, CF14 6JT	CONSTRUCTION OF FRONT PORCH, PART RE-CONSTRUCTION OF REAR EXTENSION AND ASSOCIATED ALTERATIONS	05/09/2022	Permission be granted	Householder
22/01185/DCH	13/06/2022	Cox	HSE	14 HEOL TY'N-Y-CAE, RHIWBINA, CARDIFF, CF14 6DJ	DORMER ROOF EXTENSIONS TO FRONT ELEVATION	05/09/2022	Permission be granted	Householder
22/01063/MNR	06/07/2022	Rhiwbina Beans	FUL	105 HEOL LLANISHEN FACH, RHIWBINA, CARDIFF, CF14 6RE	CHANGE OF USE TO A3 (FOOD AND DRINK)	01/09/2022	Permission be granted	Minor - Retail (A1-A3)

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22/00926/MNR	23/05/2022	Claydon	FUL	25-27 HEOL-Y-DERI, RHIWBINA, CARDIFF, CF14 6HB	CONVERSION TO 2NO. RESIDENTIAL DWELLINGS WITH ASSOCIATED REFURBISHMENT AND ALTERATIONS	31/08/2022	Permission be granted	Minor - Dwellings (C3)
LBC/22/00025/MNR	23/05/2022	Claydon	LBC	25-27 HEOL-Y-DERI, RHIWBINA, CARDIFF, CF14 6HB	CONVERSION TO 2NO. RESIDENTIAL DWELLINGS WITH ASSOCIATED REFURBISHMENT AND ALTERATIONS	31/08/2022	Permission be granted	Listed Buildings
22/01338/DCH	07/07/2022	Fisher	HSE	44 RHIWBINA HILL, RHIWBINA, CARDIFF, CF14 6UQ	ERECTION OF FIRST FLOOR EXTENSION TO SIDE AND REAR OF DWELLING	15/09/2022	Permission be granted	Householder
22/01391/DCH	25/07/2022	Lawrence	NMA	3 HEOL-YR-EFAIL, RHIWBINA CARDIFF, CF14 4SR	ALTERATIONS AND ENLARGEMENT OF GARDEN ROOM - PREVIOUSLY APPROVED UNDER 22/00523/DCH	15/09/2022	Permission be granted	Non Material Householder
22/01514/DCH	18/07/2022	Mistry	HSE	127 HEOL-Y-COED, RHIWBINA, CARDIFF, CF14 6HS	DEMOLISH EXISTING CONSERVATORY AND REAR SINGLE STOREY EXTENSION AND CONSTRUCTION OF NEW SINGLE STOREY REAR EXTENSION	14/09/2022	Permission be granted	Householder
22/01373/DCH	06/07/2022	Cooper	HSE	20 LON-YSGUBOR, RHIWBINA, CARDIFF, CF14 6SG	DEMOLITION OF EXISTING GARAGE AND CONSTRUCTION OF SIDE EXTENSION ON PREVIOUS GARAGE FOOTPRINT WITH STORAGE UNDERNEATH	12/09/2022	Permission be granted	Householder

RIVERSIDE

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22/01457/MNR	08/07/2022	Compostela ltd	FUL	221 COWBRIDGE ROAD EAST, RIVERSIDE, CARDIFF, CF11 9AL	CREATION OF 3NO. TWO BED FLATS TO THE REAR OF THE MAIN BUILDING	10/09/2022	Planning Permission be refused	Minor - Dwellings (C3)
22/01111/MNR	08/06/2022	T & NL Limited	FUL	4 ROMILLY CRESCENT, PONTCANNA, CARDIFF, CF11 9NR	DEMOLITION OF EXISTING STORAGE AREA AND CONSTRUCTION OF DOUBLE AND SINGLE STOREY EXTENSION, EXTENDING EXISTING COFFEE AND WINE BAR AND FORMING FIRST FLOOR RESIDENTIAL ACCOMMODATION, OUTDOOR SEATING AREA WITH RETRACTABLE CANOPY, REMOVAL OF TEMPORARY COVERED CANOPY/OUTDOOR SEATING AREA AND REINSTATEMENT OF CAR PARK	10/09/2022	Permission be granted	Minor - Retail (A1-A3)
22/00619/DCH	13/07/2022	Evans	HSE	78 PLASTURTON AVENUE, PONTCANNA, CARDIFF, CF11 9HJ	REPLACE EXISTING UPVC WINDOWS ON FRONT ELEVATION WITH NEW HARDWOOD SASH WINDOWS	10/09/2022	Permission be granted	Householder
22/01480/MNR	13/07/2022	PATEL	FUL	40 LOWER CATHEDRAL ROAD, RIVERSIDE, CARDIFF, CF11 6LT	CONVERSION OF PROPERTY INTO 3NO. SELF CONTAINED FLATS WITH REAR DORMER AND EXTERNAL ALTERATIONS	14/09/2022	Permission be granted	Minor - Dwellings (C3)

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22/01529/DCH	26/07/2022	Boyle	HSE	92 CATHEDRAL ROAD, PONTCANNA, CARDIFF, CF11 9LN	SINGLE STOREY EXTENSION & LOFT CONVERSION WITH DORMERS TO REAR ANNEXE AT REAR OF PROPERTY, CLADDING OF PROPERTY TO IMPROVE INSULATION, REMODELLING OF INTERNAL SPACES, AND NEW SCREEN GLASS DOOR TO CREATE LOBBY	14/09/2022	Planning Permission be refused	Householder
22/01735/DCH	01/09/2022	MAHMOUD	CLD	22 MACHEN PLACE, RIVERSIDE, CARDIFF, CF11 6EQ	REAR DORMER LOFT CONVERSION	14/09/2022	Permission be granted	Other Consent Types
22/01277/MNR	14/07/2022	Cardiff Council Sport Leisure & Development	FUL	CARDIFF RIDING SCHOOL, PONTCANNA FIELDS, FIELDS PARK ROAD, PONTCANNA	STEEL SHIPPING CONTAINER IN THE CAR PARK OF CARDIFF RIDING SCHOOL TO MAKE A TEMPORARY CLASSROOM FOR UP TO 8 LEARNERS	01/09/2022	Permission be granted	General Regulations
22/00688/MNR	20/04/2022	Brosnan	REN	REAR OF 235 COWBRIDGE ROAD EAST, RIVERSIDE, CARDIFF, CF11 9AL	RENEWAL OF PLANNING PERMISSION 17/01475/MNR FOR THE ERECTION OF STORE & 4 APARTMENTS	26/09/2022	Permission be granted	Renewals and Variation of Conditions
22/01686/DCH	09/08/2022	Roberts Harry	HSE	50 LLANFAIR ROAD, PONTCANNA, CARDIFF, CF11 9QB	ALTERATION OF PITCHED ROOF REAR EXTENSION TO FLAT ROOF AND CONSTRUCTION OF SIDE RETURN EXTENSION	26/09/2022	Permission be granted	Householder
A/21/00119/MNR	30/07/2021	Nathoo	ADV	59 CATHEDRAL ROAD, PONTCANNA, CARDIFF, CF11 9HE	NEW SIGNAGE	22/09/2022	Permission be granted	Advertisements

RUMNEY

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22/01578/DCH	26/07/2022	Monk	HSE	1A BRACHDY ROAD, RUMNEY, CARDIFF, CF3 3BE	REAR DOUBLE STOREY EXTENSION, REMOVAL OF GARAGE DOOR AND EXTENSION OF GARAGE AND REMOVAL OF PORCH WITH NEW ENTRANCE DOOR	20/09/2022	Permission be granted	Householder
22/01419/DCH	13/07/2022	An	HSE	8 RHOSSILLY AVENUE, RUMNEY, CARDIFF, CF3 3NH	STUDIO	16/09/2022	Permission be granted	Householder
22/01580/MNR	26/07/2022	Caisson Investment Management	FUL	UNIT 8, WENTLOOG BUILDINGS, WENTLOOG ROAD, RUMNEY, CARDIFF, CF3 1YA	NEW ACCESS TO SERVE UNIT 8 WENTLOOG BUILDINGS WITH GATE, NEW SECTION OF FENCING AND ASSOCIATED CAR PARKING	22/09/2022	Permission be granted	Other Consent Types
22/01303/DCH	20/06/2022	Monteriso	HSE	132 NEW ROAD, RUMNEY, CARDIFF, CF3 3AE	DEMOLITION OF EXISTING CONSERVATORY AND CONSTRUCTION OF SINGLE STOREY REAR EXTENSION AND CONVERSION OF EXISTING GARAGE INTO AN OFFICE/STUDY	23/09/2022	Permission be granted	Householder
22/01459/DCH	19/07/2022	Bannister	HSE	11 CLAREMONT CRESCENT, RUMNEY, CARDIFF, CF3 4LS	SINGLE STOREY REAR/SIDE EXTENSION AND ASSOCIATED WORKS INCLUDING DEMOLITION OF EXISTING SINGLE STOREY GARAGE	23/09/2022	Permission be granted	Householder
22/01369/DCH	27/06/2022	Habash	HSE	38 TY-FRY GARDENS, RUMNEY, CARDIFF, CF3 3NQ	TWO STORY SIDE EXTENSION AND CONVERT GARAGE TO HABITABLE SPACE	01/09/2022	Permission be granted	Householder

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22/01437/DCH	13/07/2022	Dosomah	HSE	4 BRACHDY LANE, RUMNEY, CARDIFF, CF3 3AS	DEMOLITION OF EXISTING REAR EXTENSION AND OUTBUILDINGS AND CONSTRUCTION OF SINGLE STOREY REAR/SIDE EXTENSION, EXTENSION TO EXISTING HIPPED ROOF AND REAR DORMER ROOF EXTENSION AND ASSOCIATED ALTERATIONS	01/09/2022	Permission be granted	Householder
22/01576/MNR	28/07/2022	Abraham	NMA	LAND ADJACENT TO 1 GREENWAY ROAD, RUMNEY, CARDIFF, CF3 3HJ	AMENDMENT OF HIPPED ROOF TO GABLE ROOF - PREVIOUSLY APPROVED ON APPEAL IN RESPECT OF PLANNING APPLICATION 20/00375/MNR APPROVED UNDER APPEAL REFERENCE APP/Z6815/A/20/3255081	31/08/2022	Planning Permission be refused	Non Material Amendment
22/00533/DCH	16/03/2022	Sampson	HSE	63 TY-FRY GARDENS, RUMNEY, CARDIFF, CF3 3NP	PART REMOVAL OF EXISTING HIPPED ROOF AND NEW REDUCED HIP, FIRST FLOOR SIDE EXTENSION OVER EXISTING GROUND FLOOR EXTENSION AND REAR GROUND FLOOR EXTENSION	05/09/2022	Permission be granted	Householder
SPLOTT								
22/00879/MJR	05/05/2022	Pinnacle Power Ltd	NMA	ADJACENT TO COMPRESSOR HOUSE, ROATH DOCK ROAD, CARDIFF	AMENDMENTS TO PROPOSED CONCRETE BASES AND ABOVE GROUND PIPE SUPPORT DETAILS - PREVIOUSLY APPROVED UNDER APP 20/01453/MJR.	09/09/2022	Permission be granted	Non Material Amendment

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22/01093/MNR	09/06/2022	KHALIL	FUL	2 MARION STREET, SPLOTT, CARDIFF, CF24 2DP	REAR DORMER LOFT CONVERSION AND CONVERSION TO (SUI-GENERIS) HOUSE IN MULTIPLE OCCUPATION	23/09/2022	Permission be granted	Minor - Dwellings (C3)

21/02693/MNR	16/03/2022	Hot Asia Holdings Ltd	FUL	20 SPLOTT ROAD, SPLOTT, CARDIFF, CF24 2BZ	CHANGE OF USE OF EXISTING OFFICES TO RESIDENTIAL INCLUDING RETENTION OF EXISTING FLAT AND CREATION OF 4NO. ADDITIONAL FLATS WITH TWO STOREY AND SINGLE STOREY REAR SIDE EXTENSIONS, SIDE ROOF GABLE AND ASSOCIATED WORKS	20/09/2022	Permission be granted	Minor - Dwellings (C3)
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TROWBRIDGE

22/01464/DCH	19/07/2022	Latham	HSE	15 CASPIAN CLOSE, ST MELLONS, CARDIFF, CF3 0BQ	TWO STOREY SIDE EXTENSION SINGLE STOREY REAR EXTENSION	20/09/2022	Permission be granted	Householder
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21/02782/MJR	06/01/2022	Cardiff Council	DOC	LAND AT WAKEHURST PLACE, TROWBRIDGE, CARDIFF	DISCHARGE OF CONDITIONS 3 (CONSTRUCTION METHOD STATEMENT & ENVIRONMENTAL PROTECTION STATEMENT) AND 10 (CONSTRUCTION PHASE MANAGEMENT PLAN) OF 20/01190/MJR	23/09/2022	Full Discharge of Condition	General Regulations
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22/01096/MNR	13/06/2022	Wates Residential	FUL	LAND TO THE NORTH OF CRICKHOWELL ROAD, ST MELLONS	RETROSPECTIVE TEMPORARY PLANNING APPLICATION FOR STORAGE OF MATERIALS, CAR PARKING AND TEMPORARY CABIN/OFFICE SETUP AND ASSOCIATED WORKS	13/09/2022	Permission be granted	Other Consent Types
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22/01417/MNR	04/07/2022	Phillips	DOC	OAK HOUSE, PASCAL CLOSE ST MELLONS, CARDIFF, CF3 0LT	PARTIAL DISCHARGE OF CONDITION 3 RELATING TO CONSTRUCTION AND ENVIRONMENTAL METHOD STATEMENT IN RESPECT OF 21/00678/MNR	15/09/2022	Partial Discharge of Condition (s)	General Regulations
22/01567/MNR	25/07/2022	East Cardiff Educational Trust	DOC	FORMER POLICE STATION, CRICKHOWELL ROAD, ST MELLONS, CARDIFF, CF3 0EF	DISCHARGE OF CONDITIONS 5 (ARBORICULTURAL METHOD STATEMENT AND TREE PROTECTION PLAN) AND 6 (SOFT LANDSCAPING) OF 21/02156/MNR	01/09/2022	Full Discharge of Condition	Discharge of Conditions
PRAP/22/00037/MNR	08/07/2022	CK Hutchison Networks (UK) Ltd	PAT	LAND AT WILLOWBROOK DRIVE ADJACENT TO CRUMLIN DRIVE, ST MELLONS	PROPOSED TELECOMMUNICATIONS INSTALLATION: PROPOSED 15.0M PHASE 9 MONOPOLE AND ASSOCIATED ANCILLARY WORKS	31/08/2022	Permission Required	Other Consent Types
WHITCHURCH/TONGWYNLAIS								
22/01581/DCH	26/07/2022	Gale	HSE	21 PARK CRESCENT, WHITCHURCH, CARDIFF, CF14 7AQ	REAR AND SIDE WRAP-AROUND SINGLE STOREY EXTENSION	31/08/2022	Permission be granted	Householder
22/00955/MNR	06/05/2022	New Generation Parking Management	FUL	REAR OF 17 TO 19, PENLLINE ROAD, WHITCHURCH, CARDIFF, CF14 2AD	CHANGE OF USE TO OFFICES WITH FIRST FLOOR EXTENSION AND EXTERNAL ALTERATIONS	31/08/2022	Permission be granted	Minor - Offices (B1(a))
22/01286/MNR	05/07/2022	Ton Dental	FUL	TONGWYNLAIS DENTAL PRACTISE, 49 MERTHYR ROAD, TONGWYNLAIS, CARDIFF, CF15 7LG	GROUND FLOOR EXTENSION OF DENTAL PRACTICE INTO INTERNAL COURTYARD	31/08/2022	Permission be granted	Minor - Other Principal Uses

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22/01367/MNR	06/07/2022	Zedra Trust Company (Jersey) Ltd on behalf of the Hayriye Ugurel Family Trust.	FUL	68 MERTHYR ROAD, WHITCHURCH, CARDIFF, CF14 1DJ	CHANGE OF USE FROM CLASS A1 (RETAIL) TO CLASS A3 (FOOD AND DRINK)	01/09/2022	Permission be granted	Minor - Retail (A1-A3)
PRAP/22/00039/MNR	13/07/2022	Cornerstone Telecommunications	PAT	GRASS VERGE OF NORTHERN AVENUE ADJACENT TO WHITCHURCH GOLF CLUB TO THE NORTH, WHITCHURCH	INSTALLATION OF A 20M HIGH STREETWORKS COLUMN SUPPORTING 6 NO. ANTENNAS, 2 NO. 0.3M DISHES AND ANCILLARY EQUIPMENT. THE INSTALLATION OF 2 NO. EQUIPMENT CABINETS AND DEVELOPMENT ANCILLARY THERETO	07/09/2022	No Prior Approval required	Other Consent Types
22/01245/MNR	14/06/2022	Tufnell	FUL	51A MERTHYR ROAD, TONGWYNLAIS, CARDIFF, CF15 7LG	CHANGE OF USE FROM RESIDENTIAL DWELLING (C3) TO NON RESIDENTIAL INSTITUTION (D1)	06/09/2022	Permission be granted	Minor - Other Principal Uses
22/01473/DCH	31/07/2022	Price	HSE	83 VELINDRE ROAD, WHITCHURCH, CARDIFF, CF14 2TG	SINGLE STOREY REAR EXTENSION	06/09/2022	Permission be granted	Householder
22/01776/DCH	24/08/2022	Unitt	NMH	16 CORYTON RISE, WHITCHURCH, CARDIFF, CF14 7EJ	CHANGE PITCHED ROOF TO FLAT ROOF - PREVIOUSLY APPROVED UNDER 21/02155/DCH	15/09/2022	Permission be granted	Non Material Householder
21/02645/MNR	18/11/2021	KOWSER	FUL	REAR OF 77A MERTHYR ROAD, WHITCHURCH, CARDIFF, CF14 1DD	RETAIN CONVERSION OF DISUSED STORE INTO TWO BEDROOM FLAT AT REAR GROUND FLOOR OF 77A MERTHYR ROAD	16/09/2022	Permission be granted	Minor - Dwellings (C3)
22/01540/DCH	19/07/2022	Mais	HSE	6 HEOL MATHEW, WHITCHURCH, CARDIFF, CF14 2DD	TWO STOREY SIDE EXTENSION NEW ENTRANCE PORCH AND ASSOCIATED WORKS	10/09/2022	Permission be granted	Householder

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18/00736/MNR	05/04/2018	ANDREWS	FUL	71 CHURCH ROAD, WHITCHURCH, CARDIFF, CF14 2DY	PROPOSED DEMOLITION OF EXISTING GARAGE / OUTBUILDING CONSTRUCTION OF NEW 2 STOREY DETACHED DWELLING, DETACHED REPLACEMENT GARAGE WITH STUDIO ABOVE AND GLAZED LINK TO EXISTING DWELLING	12/09/2022	Planning Permission be refused	Minor - Dwellings (C3)
22/01360/DCH	27/06/2022	Mrowiec	HSE	7 LLWYNDERW ROAD, WHITCHURCH, CARDIFF, CF14 1HW	SIDE AND REAR SINGLE STOREY EXTENSIONS	23/09/2022	Permission be granted	Householder
21/01723/MJR	14/07/2021	Transforming Cancer Services	DOC	WHITCHURCH HOSPITAL, PARK ROAD, WHITCHURCH, CARDIFF, CF14 7XB	DISCHARGE OF CONDITIONS 4 (ABORICULTURAL METHOD STATEMENT AND TREE PROTECTION PLAN), 5 (SOFT LANDSCAPING DETAILS), 7 (ECOLOGICAL MANAGEMENT PLAN) AND 11 (AIR MONITORING UNIT) OF 20/01110/MJR	28/09/2022	Full Discharge of Condition	Discharge of Conditions
22/01669/DCH	08/08/2022	Weare	HSE	5 CELTIC ROAD, WHITCHURCH, CARDIFF, CF14 1EG	GROUND FLOOR SIDE EXTENSION	29/09/2022	Permission be granted	Householder
22/01302/DCH	21/09/2022	Lake	CLD	29 VELINDRE ROAD, WHITCHURCH, CARDIFF, CF14 2TE	SINGLE STOREY SIDE/REAR EXTENSION AND ASSOCIATED WORKS	28/09/2022	Permission be granted	Other Consent Types
22/01653/DCH	04/08/2022	Lowe	HSE	22 HEOL DOLWEN, WHITCHURCH, CARDIFF, CF14 1RX	SINGLE STOREY REAR EXTENSION AND GARAGE CONVERSION	20/09/2022	Permission be granted	Householder
PRAP/22/00041/MJR	28/07/2022	Amey Infrastructure	PRAP	CORYTON STATION, PENDWYALLT ROAD, WHITCHURCH	EXTENSION OF STATION PLATFORM	21/09/2022	Prior Approval be granted	Other Consent Types

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22/01181/DCH	09/06/2022	Roberts	HSE	Y BERLLAN, 6 RUSHBROOK CLOSE, WHITCHURCH, CARDIFF, CF14 2BN	EXTENSIONS AND ALTERATIONS TO EXISTING BUNGALOW INCLUDING THE CONSTRUCTION OF SINGLE STOREY FRONT AND SIDE EXTENSIONS AND CONSTRUCTION OF 2 STOREY SIDE EXTENSION AND 2 STOREY INFILL EXTENSION TO REAR	21/09/2022	Permission be granted	Householder
22/00648/MNR	30/03/2022	Far Horizon Properties Ltd	FUL	6 PARK ROAD, WHITCHURCH, CARDIFF, CF14 7XD	CHANGE OF USE OF REAR GROUND FLOOR ANCILLARY COMMERCIAL AREA TO CREATE A ONE BEDROOM FLAT AND CHANGES TO FRONTAGE TO PROVIDE AN OUTDOOR SEATING AREA FOR A3 USE.	17/09/2022	Permission be granted	Minor - Dwellings (C3)
22/01267/MNR	20/06/2022	Beddis	FUL	74 MERTHYR ROAD, WHITCHURCH, CARDIFF, CF14 1DJ	CHANGE OF USE OF GROUND & FIRST FLOOR FROM SUI GENERIS TO USE CLASS A3	20/09/2022	Permission be granted	Minor - Retail (A1-A3)
22/01403/DCH	08/07/2022	Ellis-Owen	HSE	37 WINGFIELD ROAD, WHITCHURCH, CARDIFF, CF14 1NJ	SINGLE STOREY PORCH, HIP TO GABLE ATTIC CONVERSION WITH REAR DORMER EXTENSION, AND GARDEN ROOM	16/09/2022	Permission be granted	Householder
22/01284/DCH	28/06/2022	Sewter	HSE	107 MANOR WAY, WHITCHURCH, CARDIFF, CF14 1RF	REAR GROUND FLOOR KITCHEN/DINER LEAN TO EXTENSION	16/09/2022	Permission be granted	Householder

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